



LOCATION PLAN

DEVELOPMENT APPLICATION

ORAN PARK - COMMERCIAL 2

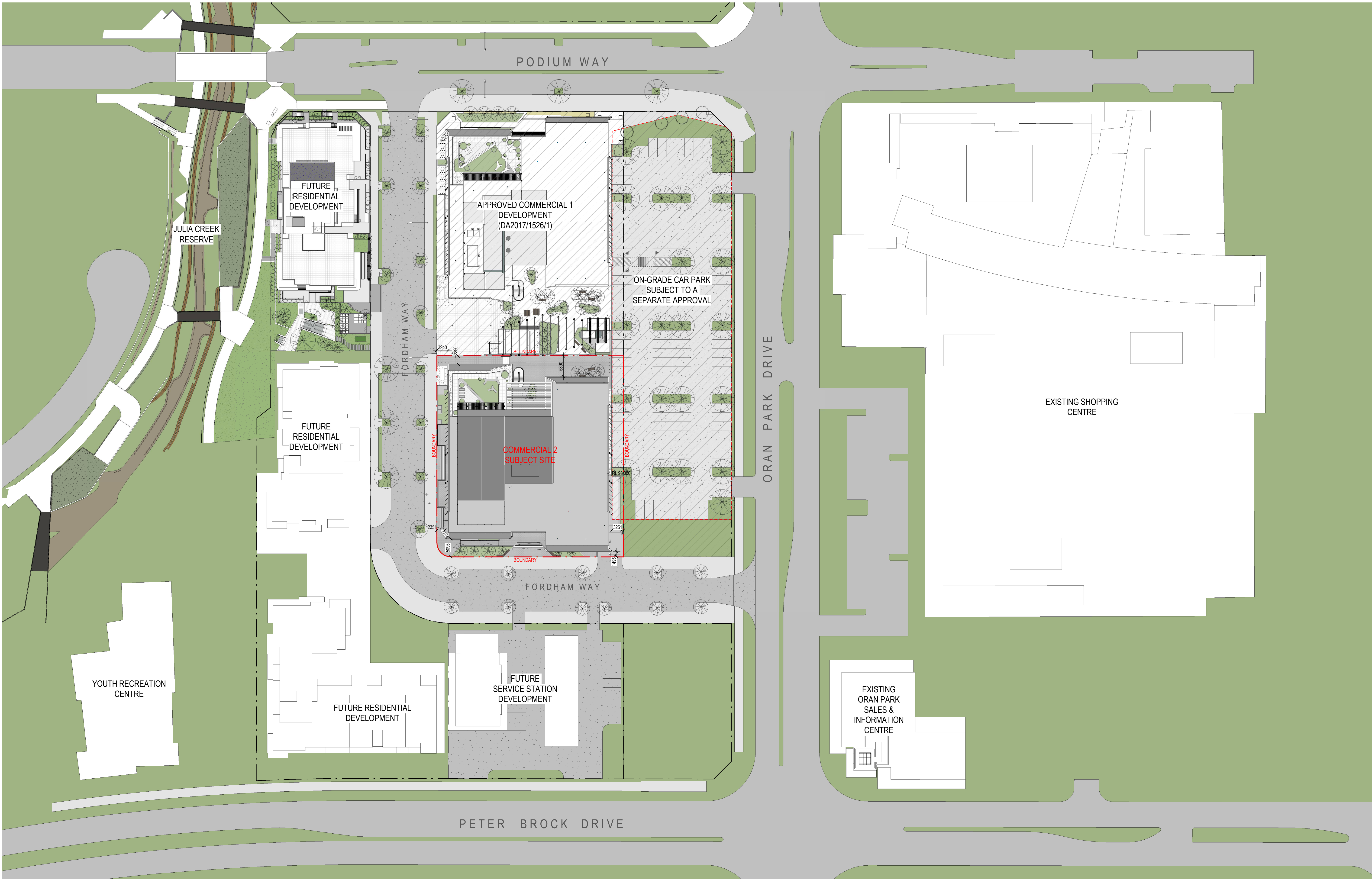
CNR ORAN PARK DRIVE & PETER BROCK DRIVE

ORAN PARK

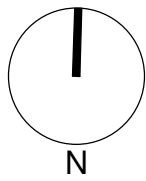
DA DRAWING LIST		
SHEET NUMBER	SHEET NAME	REVISION
DA0000	COVER SHEET	5
DA1001	SITE PLAN	6
DA1002	SHADOW DIAGRAMS	2
DA2001	BASEMENT 1 PLAN	8
DA2002	BASEMENT 2 AND 3 PLANS	8
DA2101	GROUND LEVEL AND LEVEL 1 PLANS	7
DA2102	LEVEL 2 AND LEVEL 3 PLANS	5
DA2103	LEVEL 4 AND LEVEL 5 PLANS	5
DA2104	LEVEL 6 AND ROOF PLAN	5
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DA3101	ELEVATIONS - SHEET 1	6
DA3102	ELEVATIONS - SHEET 2	6
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REF: C:\Users\michael\Documents\18032_Michael_Whelan.rvt
Author
PLOTTED & CHECKED BY:
6/03/2020 12:43:12 PM
PLOT DATE & TIME



Revisions No.	Date	Description	Ver	App'd
1	08/10/18	ISSUED FOR INFORMATION		
2	06/12/18	ISSUED FOR INFORMATION		
3	07/12/18	ISSUED FOR INFORMATION		
4	17/12/18	ISSUED FOR COORDINATION		
5	20/12/18	ISSUED FOR INFORMATION		
6	04/03/19	ISSUED FOR DA		



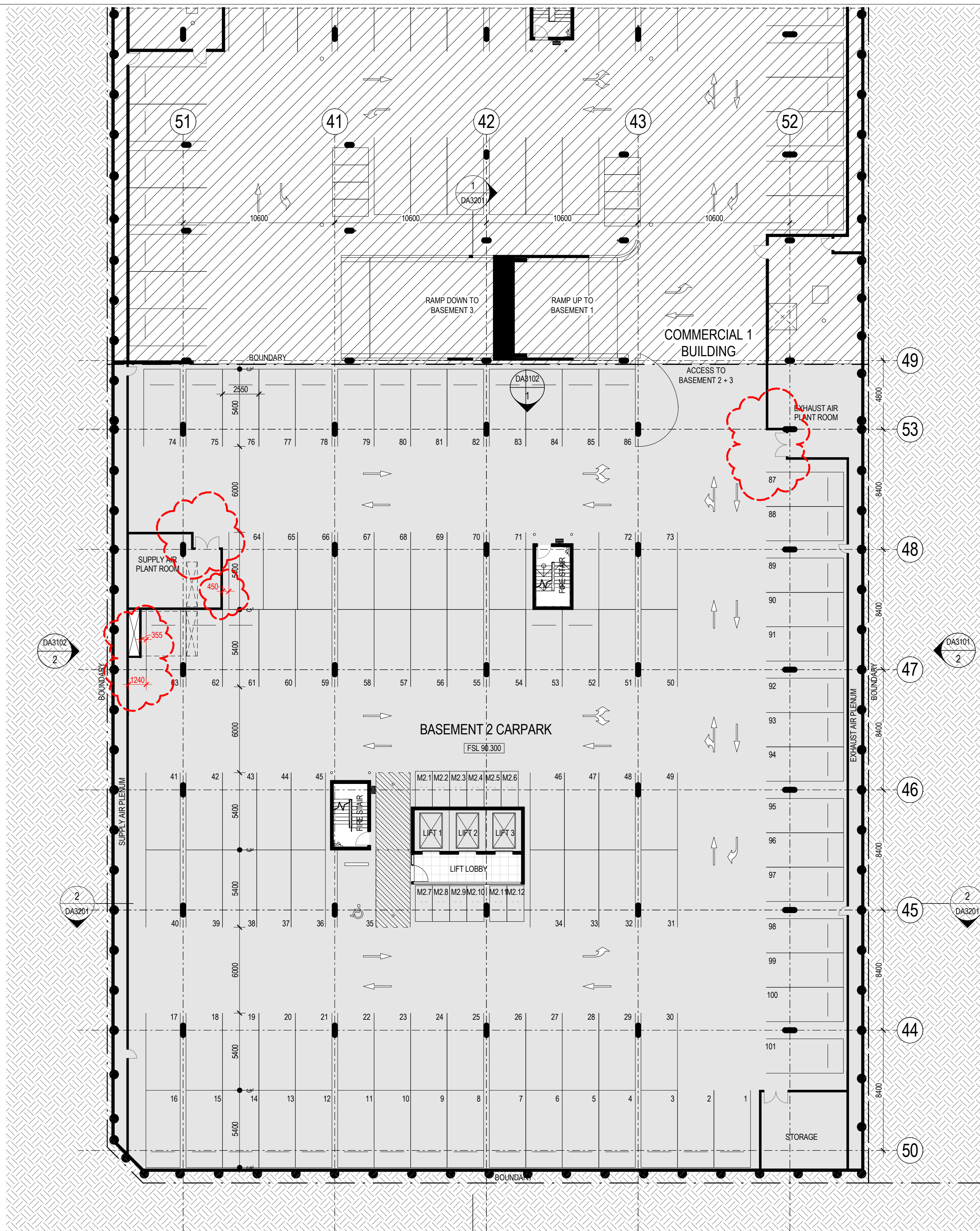
Client
GREENFIELDS DEVELOPMENT COMPANY

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Project
ORAN PARK - COMMERCIAL 2
CNR ORAN PARK DRIVE & PETER BROCK DRIVE
ORAN PARK
Proj. No. 18032

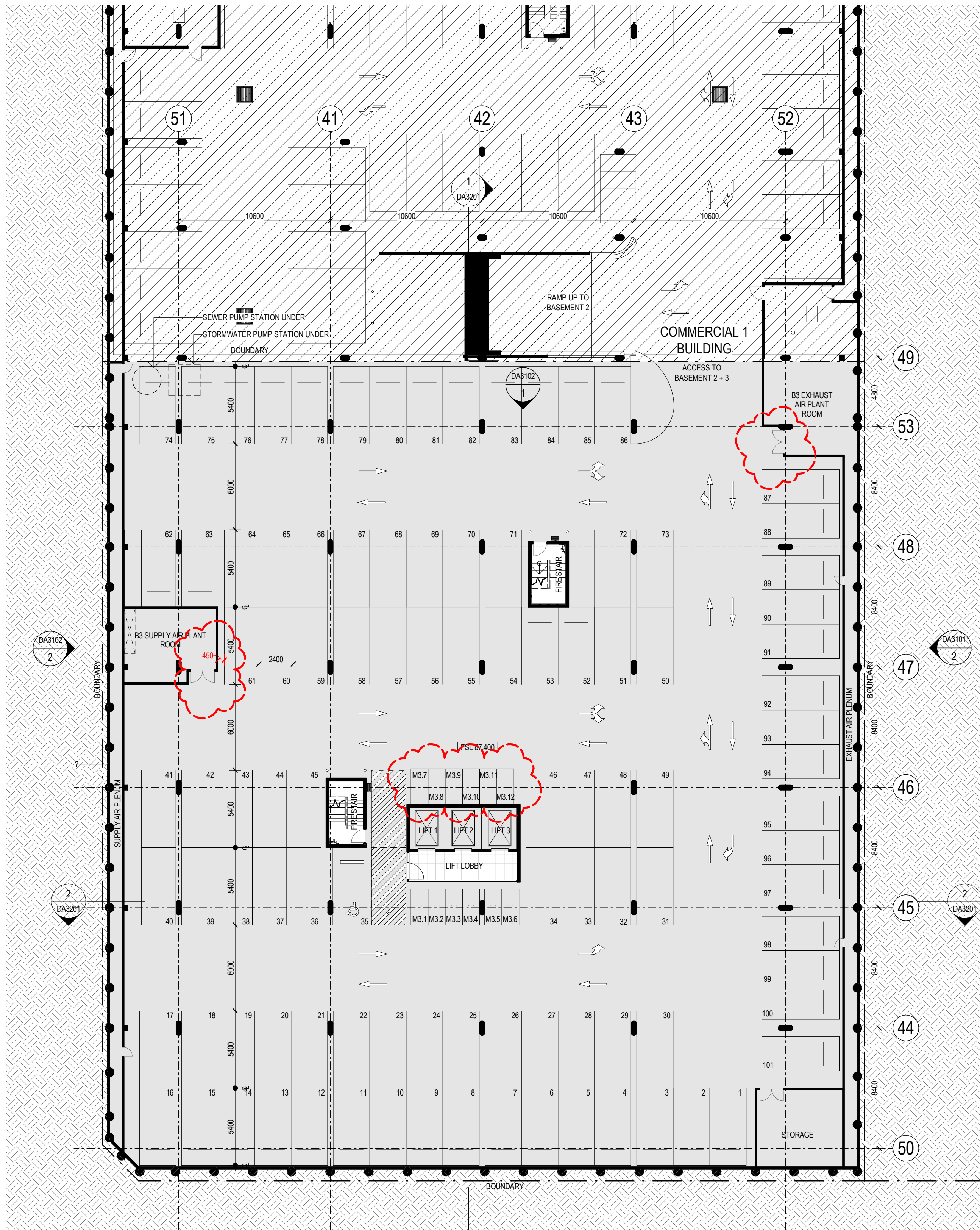
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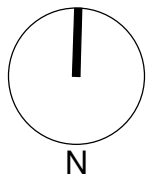
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Parking Type	Count
MOTORBIKE PARKING	12
PARKING	100
PARKING (ACCESSIBLE)	1



1 BASEMENT 3 PLAN
1:200

BASEMENT 3 PARKING COUNT	
Parking Type	Count
MOTORBIKE PARKING	12
PARKING	100
PARKING (ACCESSIBLE)	1

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5	04/03/19	ISSUED FOR DA		
6	26/06/19	REVISED DA ISSUE - RESPONSE TO COUNCIL RFI	JG	BW
7	13/11/19	COUNCIL RFI Dimensions added	JG	BW
8	22/11/19	COUNCIL RFI Amendments	JG	BW



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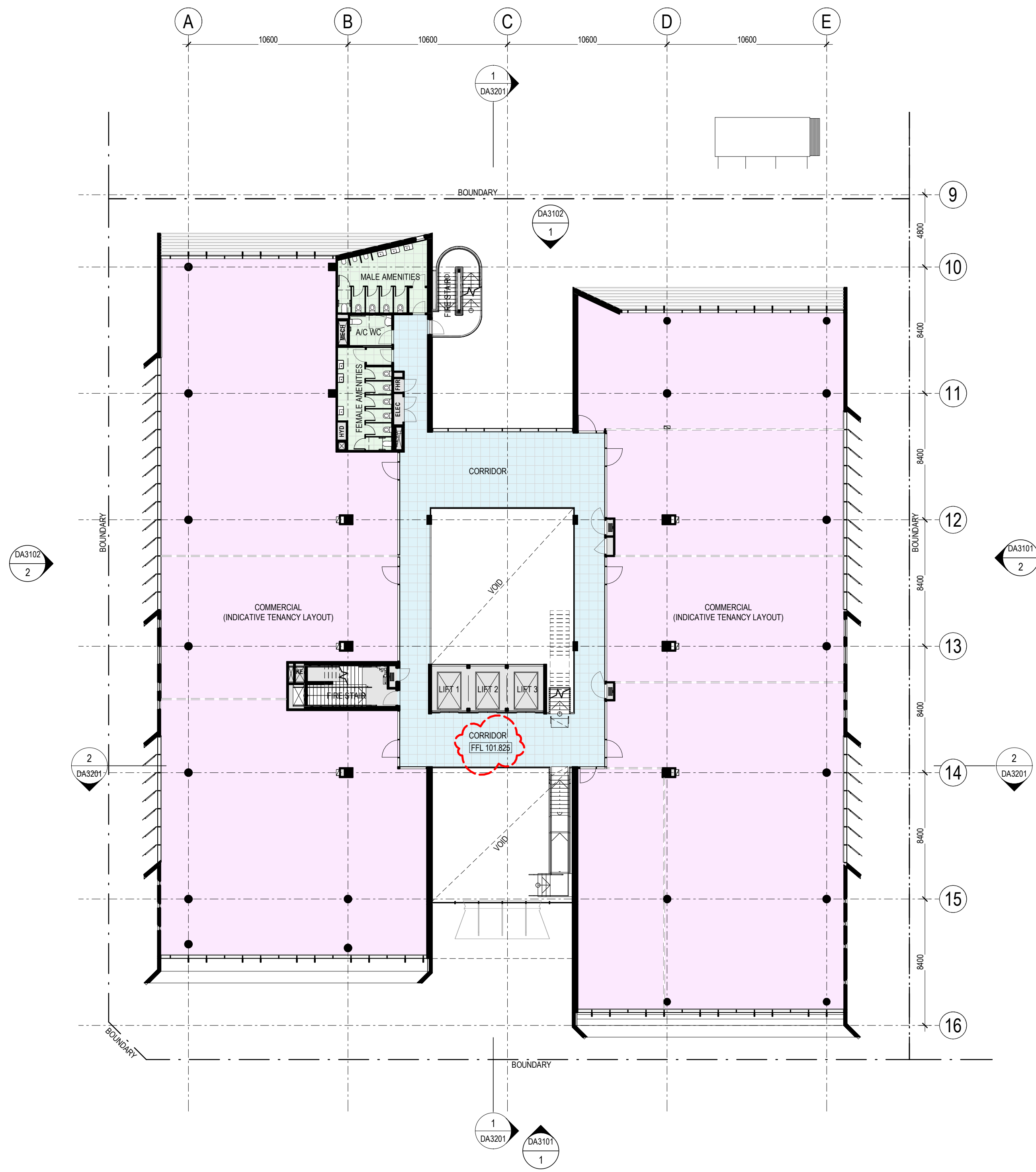
Project
ORAN PARK - COMMERCIAL 2
CNR ORAN PARK DRIVE & PETER BROOK DRIVE
ORAN PARK

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BASEMENT 2 AND 3 PLANS

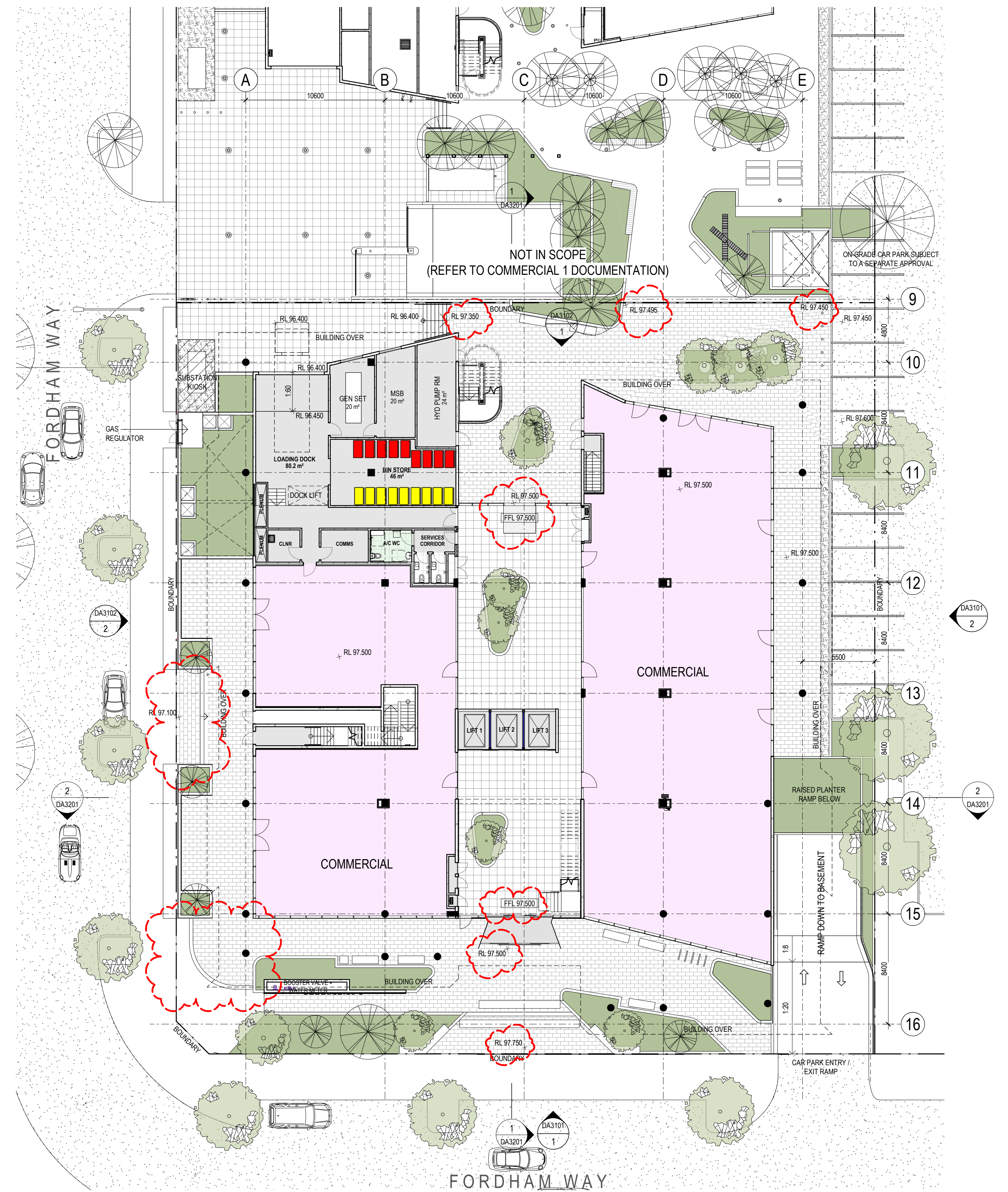
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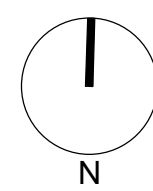


2 LEVEL 1 PLAN
1:200



1 GROUND LEVEL PLAN
1:200

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1	08/10/18	ISSUED FOR INFORMATION		
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6	26/06/19	REVISED DA ISSUE - RESPONSE TO COUNCIL RFI	JG	BW
7	06/03/20	REVISED DA ISSUE	JG	BW



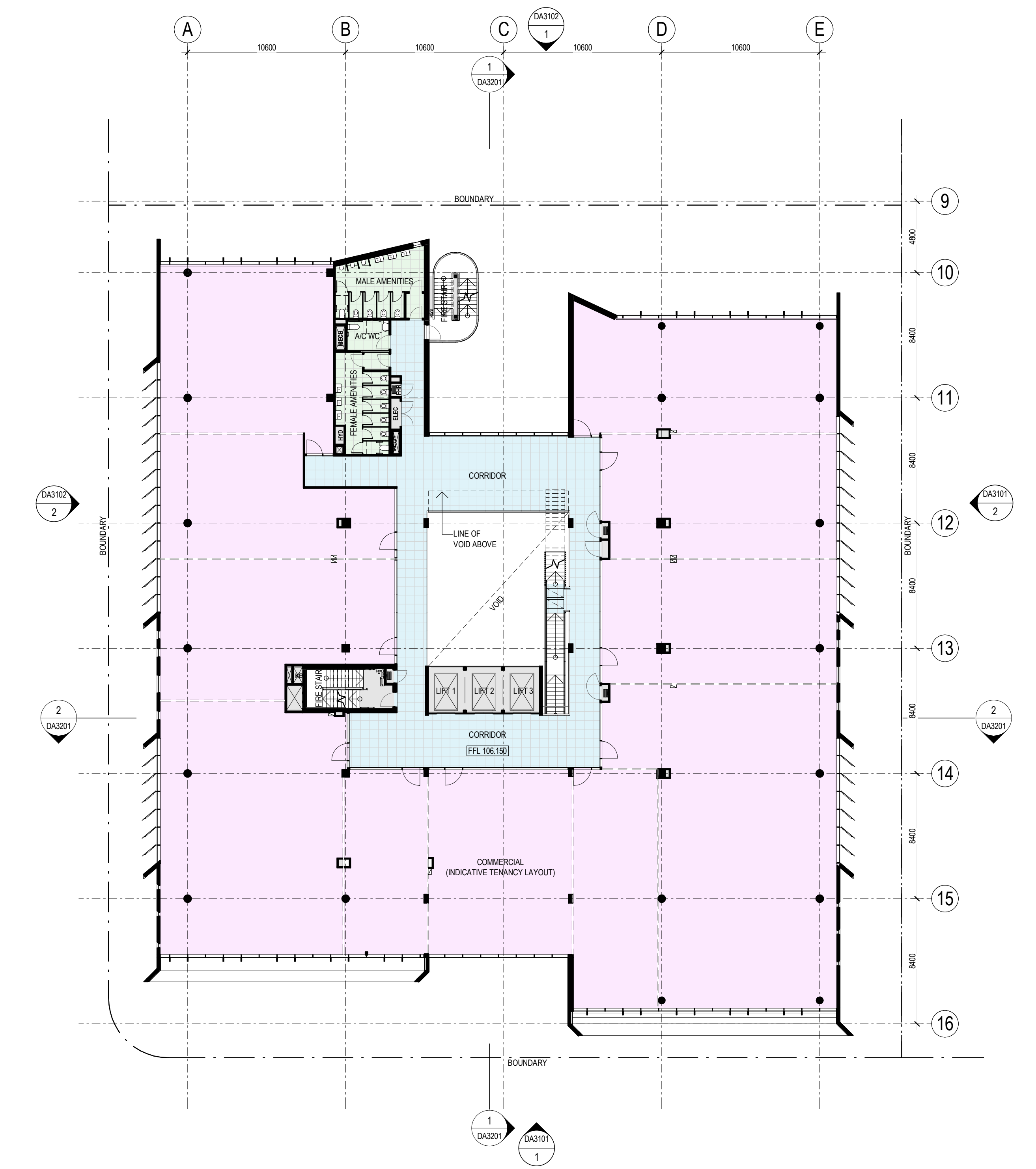
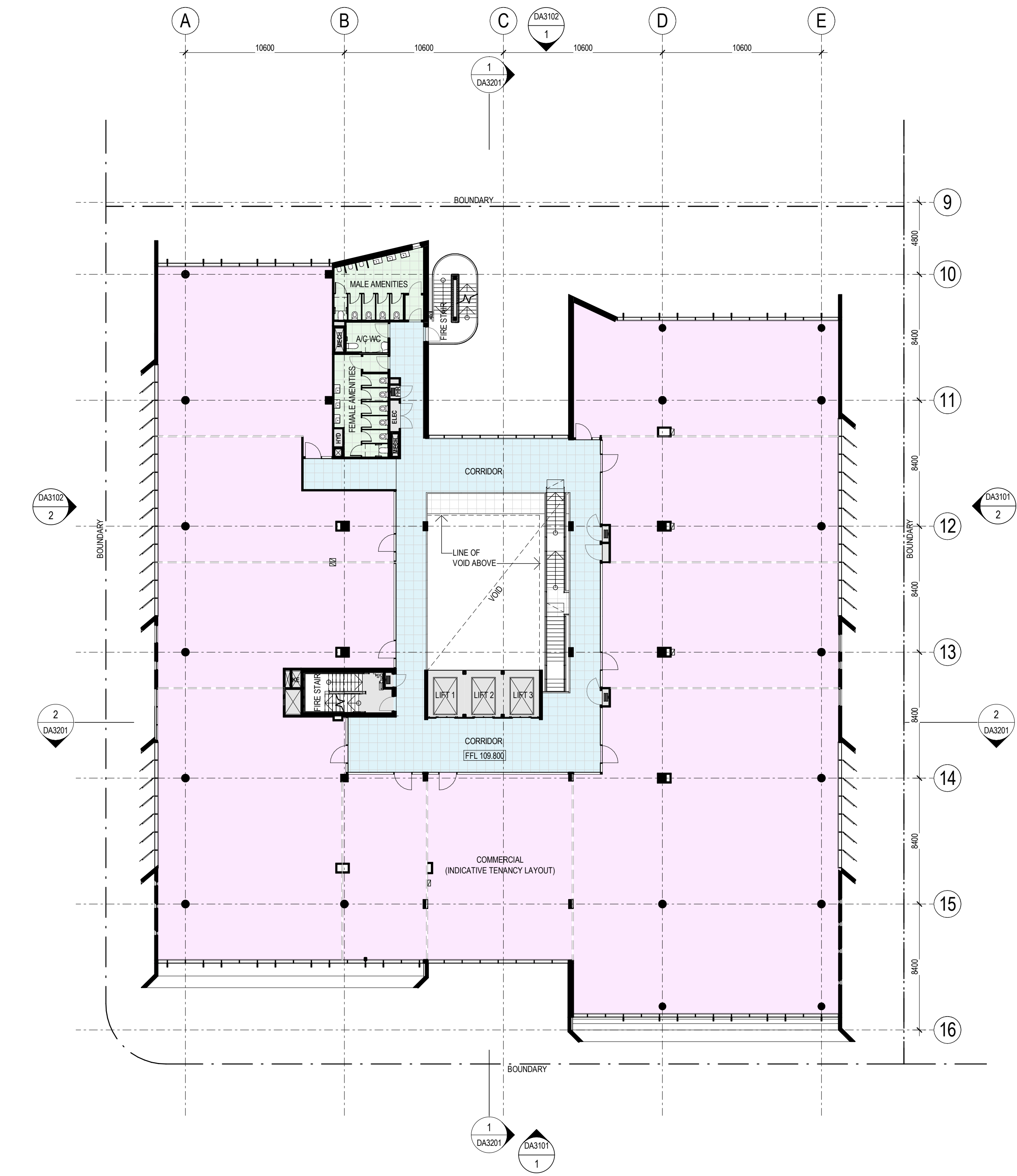
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ORAN PARK - COMMERCIAL 2
CNR ORAN PARK DRIVE & PETER BROCK DRIVE
ORAN PARK
Proj. No. 18032

Drawing Title
**GROUND LEVEL AND
LEVEL 1 PLANS**
Sheet Status
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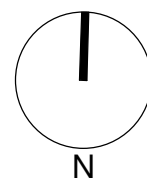
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1:200

1 LEVEL 2 PLAN
1:200

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1	08/10/18	ISSUED FOR INFORMATION		
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5	04/03/19	ISSUED FOR DA		



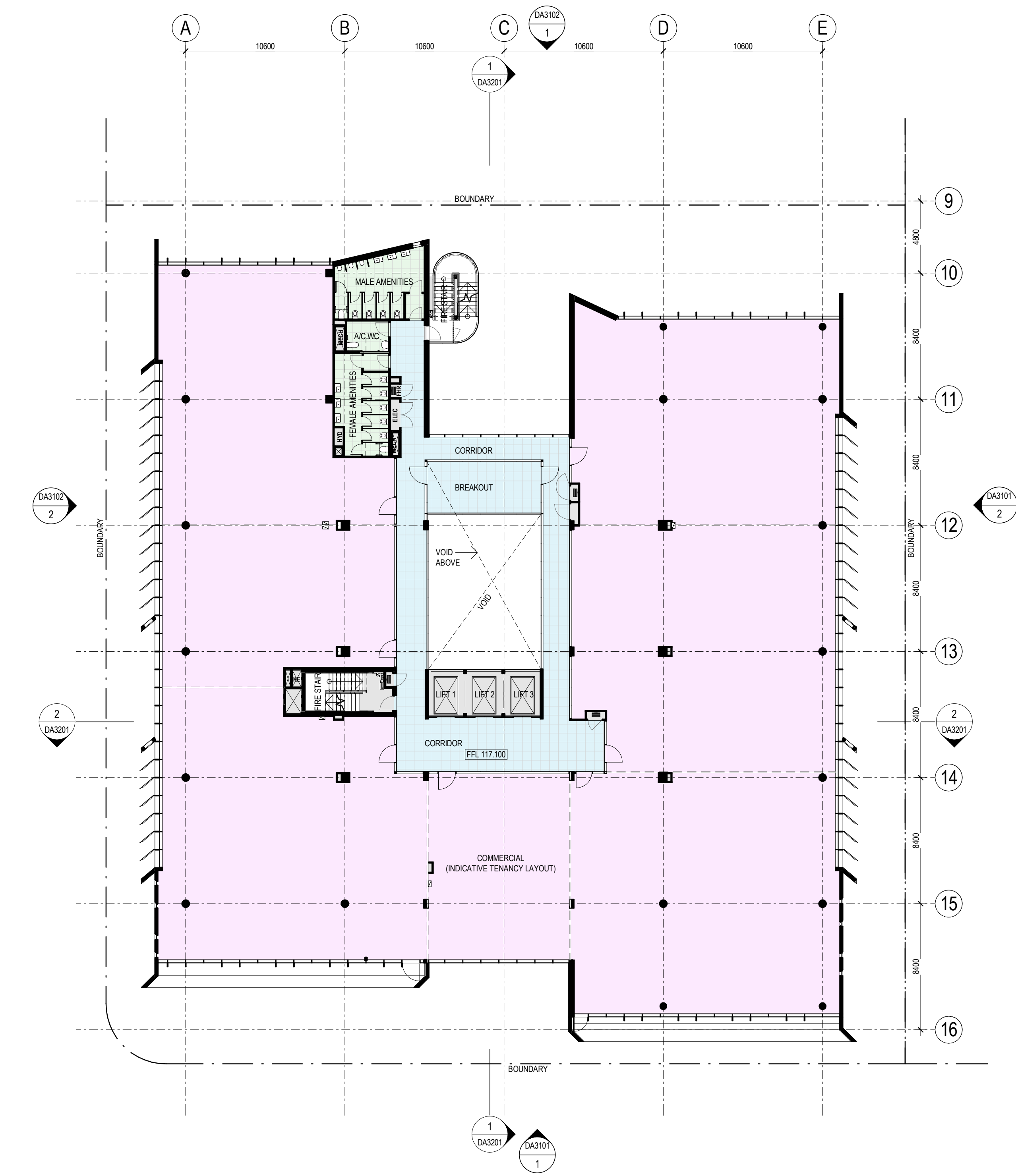
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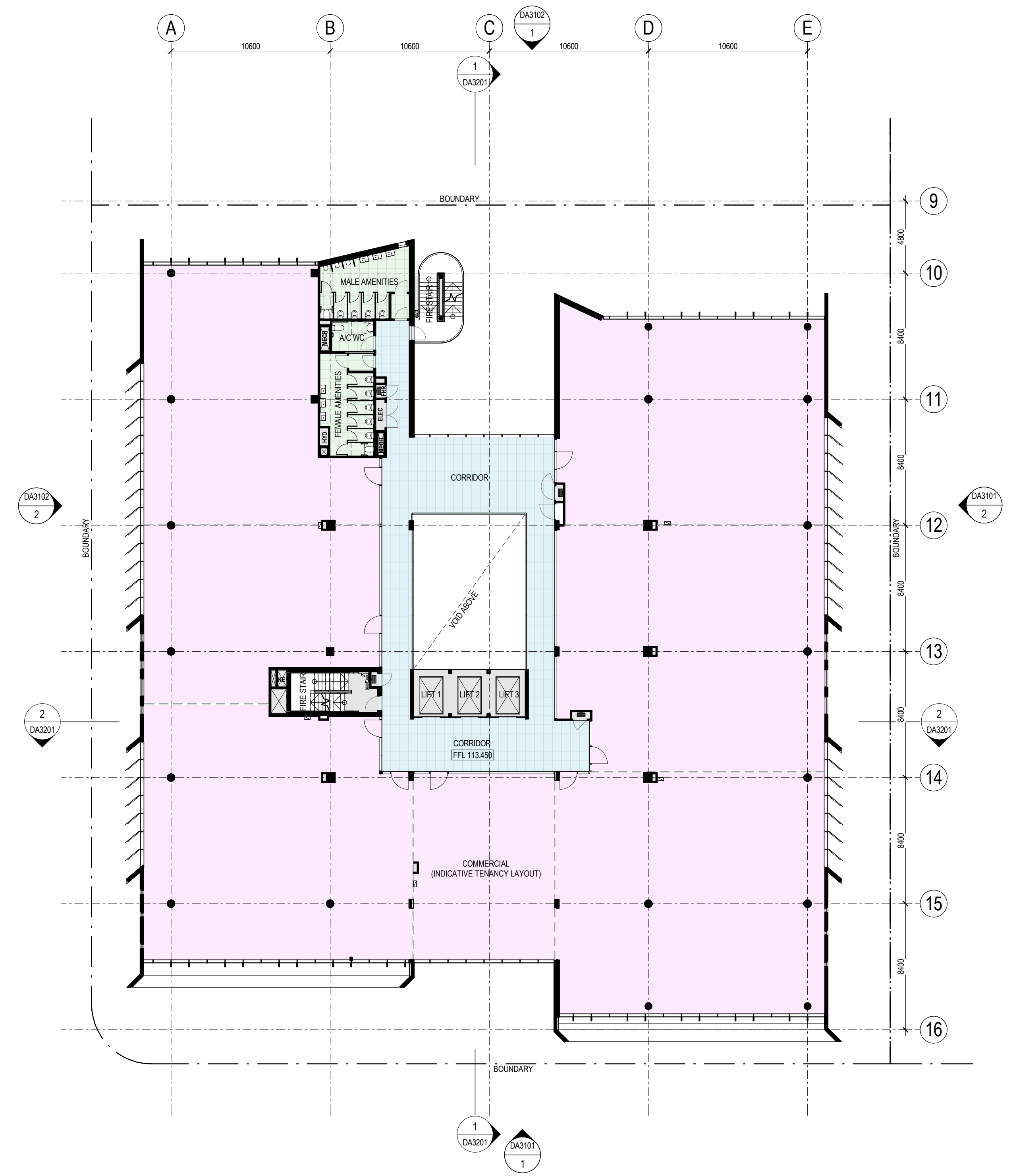
Project
ORAN PARK - COMMERCIAL 2
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Drawing Title
**LEVEL 2 AND LEVEL 3
PLANS**
Sheet Status
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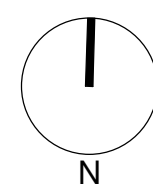


2 LEVEL 5 PLAN
1:200



1 LEVEL 4 PLAN
1:200

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1	08/10/18	ISSUED FOR INFORMATION		
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4	20/12/18	ISSUED FOR INFORMATION		
5	04/03/19	ISSUED FOR DA		



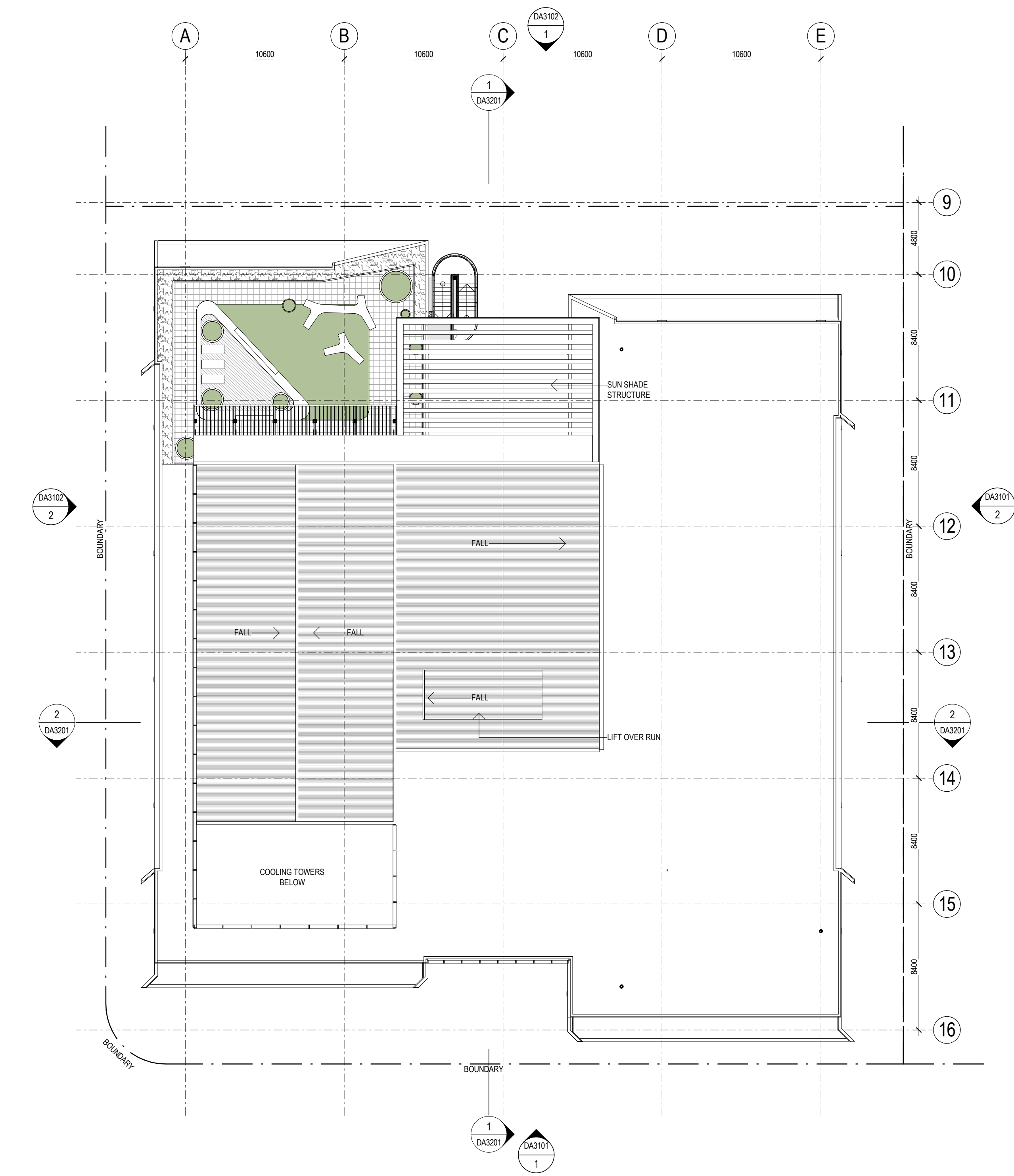
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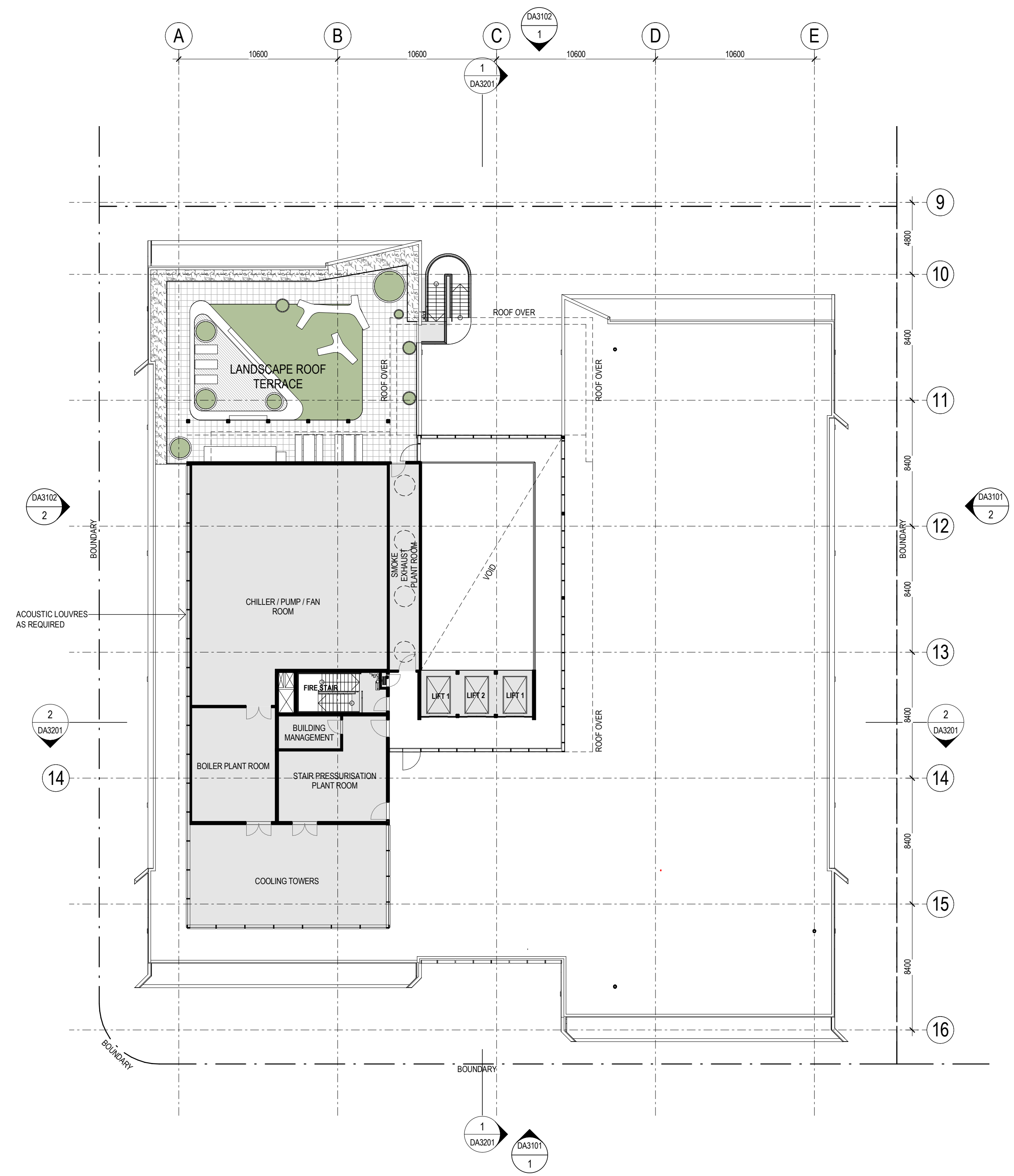
Project
ORAN PARK - COMMERCIAL 2
CNR ORAN PARK DRIVE & PETER BROOK DRIVE
ORAN PARK
Proj. No. 18032

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LEVEL 4 AND LEVEL 5 PLANS
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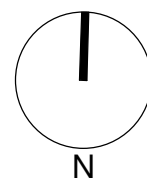


2 ROOF PLAN
1:200



1 LEVEL 6 PLAN
1:200

Revisions No.	Date	Description	Ver	App'd
1	08/10/18	ISSUED FOR INFORMATION		
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3	17/12/18	ISSUED FOR COORDINATION		
4	20/12/18	ISSUED FOR INFORMATION		
5	04/03/19	ISSUED FOR DA		



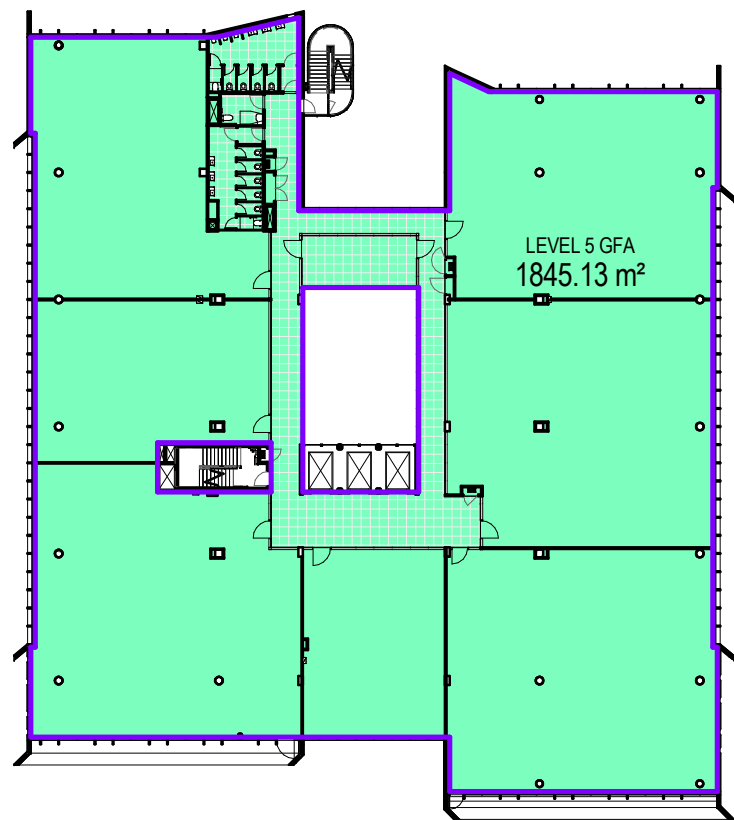
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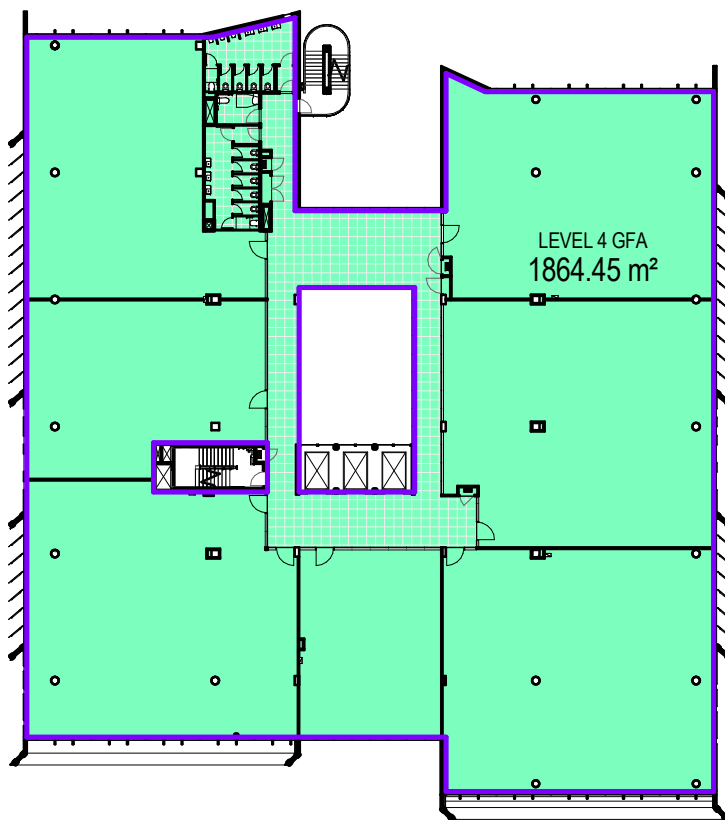
Project
ORAN PARK - COMMERCIAL 2
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ORAN PARK
Proj. No. 18032

Drawing Title
LEVEL 6 AND ROOF PLAN
Sheet Status
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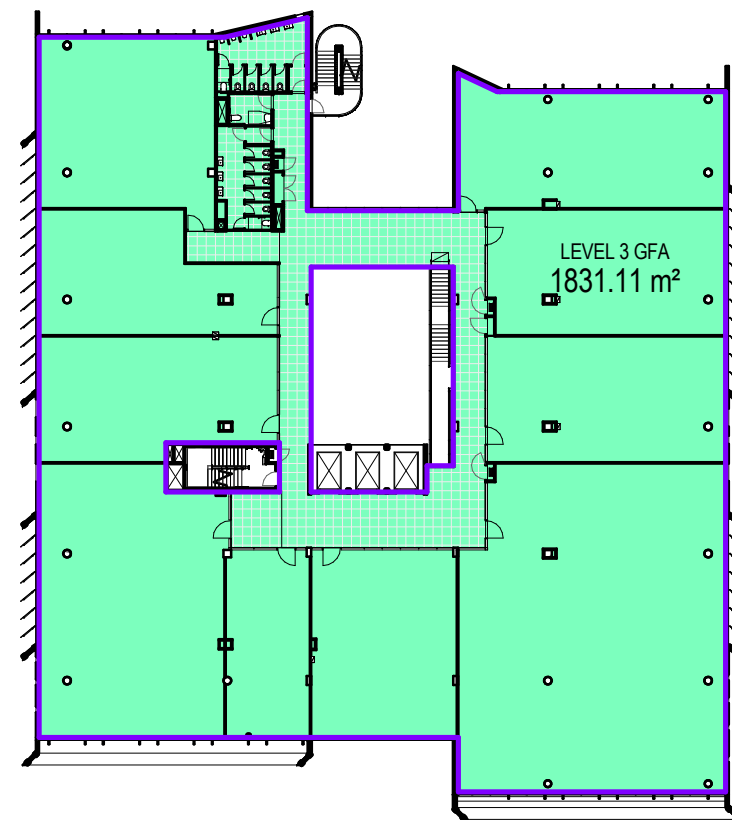
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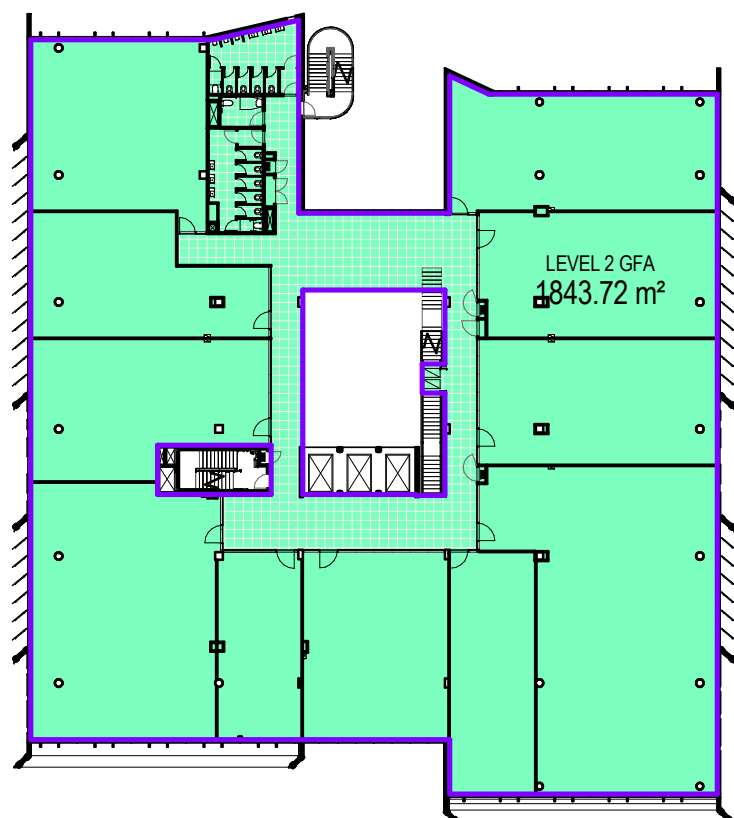
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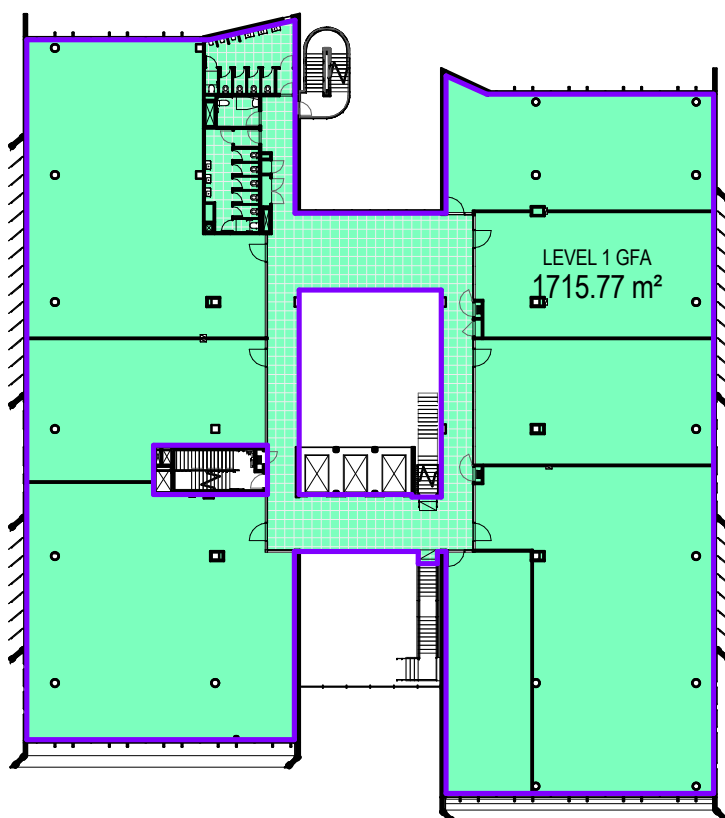
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4 LEVEL 3 GFA 1:500



3 LEVEL 2 GFA 1:500



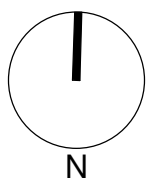
2 LEVEL 1 GFA 1:500



1 GROUND LEVEL GFA 1:500

GROSS FLOOR AREA (GFA)	
Name	Area
GROUND FLOOR GFA	1215 m²
LEVEL 1 GFA	1716 m²
LEVEL 2 GFA	1844 m²
LEVEL 3 GFA	1831 m²
LEVEL 4 GFA	1864 m²
LEVEL 5 GFA	1845 m²
Grand total	10315 m²

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1	17/12/18	ISSUED FOR COORDINATION		
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3	04/03/19	ISSUED FOR DA		



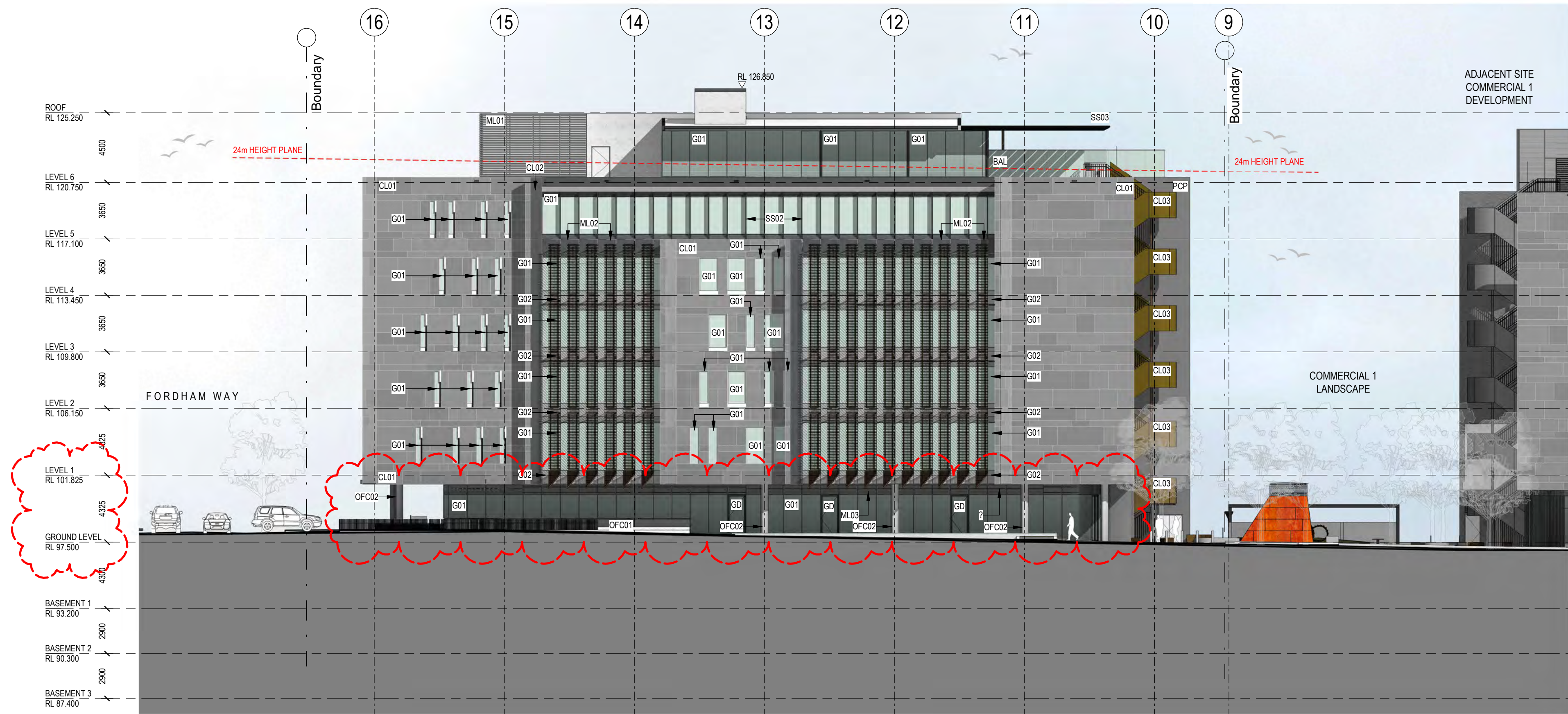
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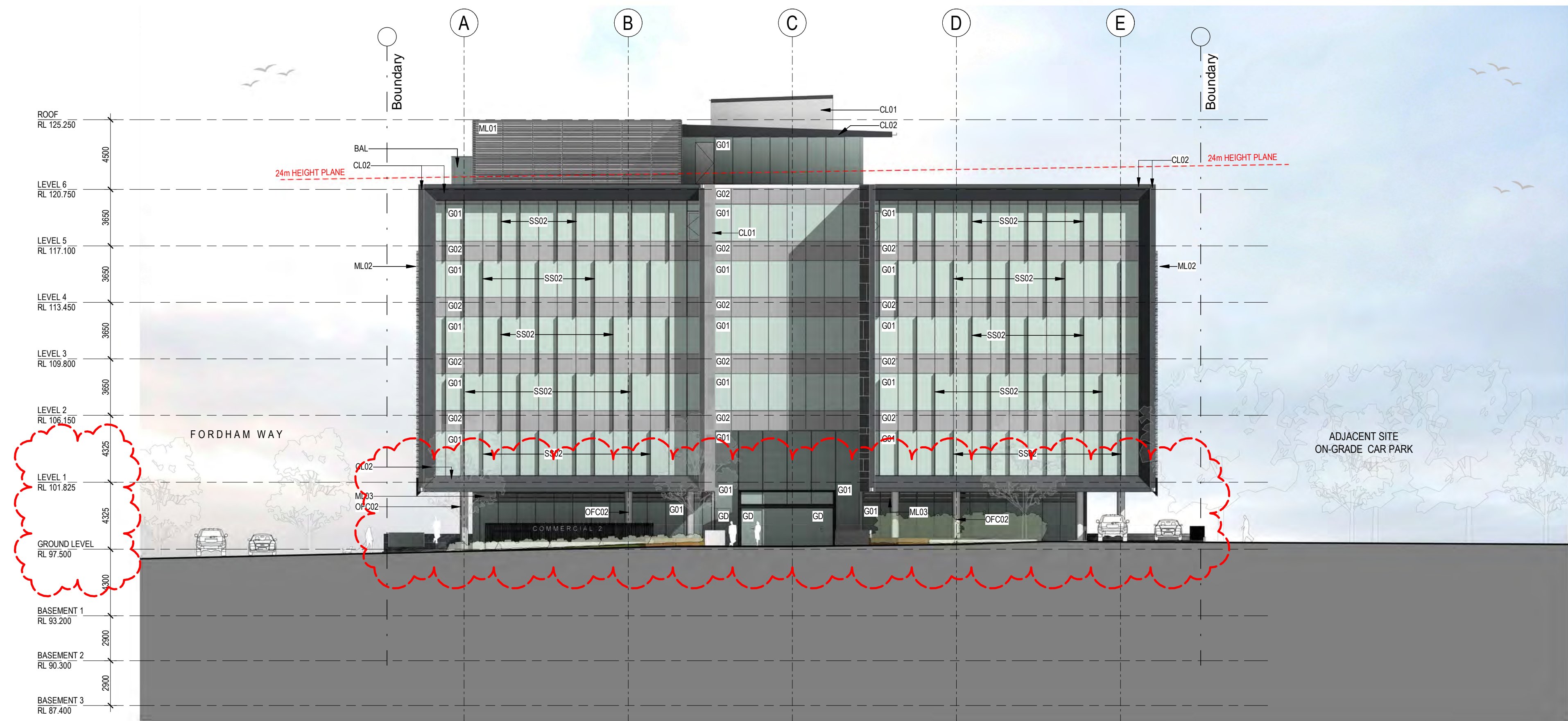
Project
ORAN PARK - COMMERCIAL 2
CNR ORAN PARK DRIVE & PETER BROCK DRIVE
ORAN PARK
Proj. No. 18032

Drawing Title
**AREA CALCULATIONS -
GFA**
Sheet Status
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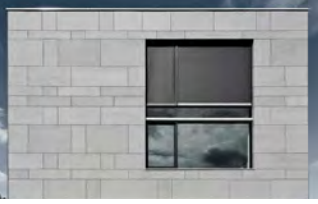








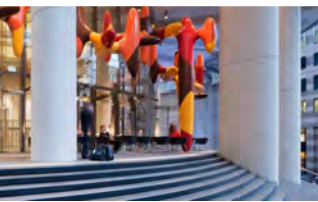


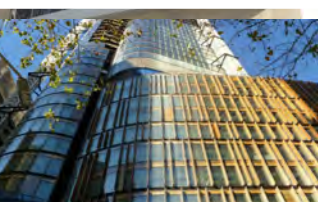



2 EAST ELEVATION
1:200



1 SOUTH ELEVATION
1:200

MATERIAL LEGEND

INDICATIVE MATERIAL EXAMPLE	MATERIAL CODE	MATERIAL DESCRIPTION
	BAL	FRAMELESS GLASS BALUSTRADE
	CL01	CLADDING TYPE 01 (FIBRE CEMENT CLADDING)
	CL02	CLADDING TYPE 02 (FULLY NON-COMBUSTIBLE METAL CLADDING)
	CL03	CLADDING TYPE 03 (SOLID BRONZE METAL CLADDING)
	G01	ALUMINIUM FRAMED VISION GLASS
	G02	ALUMINIUM FRAMED OPAQUE GLAZING (SPANDREL)
	GD	GLAZED ENTRY DOOR
	ML01	METAL LOUVRE (PLANT)
	ML02	METAL LOUVRE PANEL (SOLAR SHADING)
	OFC01	OFF-FORM CONCRETE
	OFC02	OFF-WHITE CONCRETE RENDER (CLASS 1)
	PCP	PRECAST CONCRETE PANEL
	SS01	HORIZONTAL FACADE SUN SHELF
	SS02	VERTICAL SOLAR SHADING
	SS03	HORIZONTAL SUN SHELF

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Key

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Project

ORAN PARK - COMMERCIAL 2
CNR ORAN PARK DRIVE & PETER BROCK DRIVE
ORAN PARK

Proj. No. 18032

Drawing Title

ELEVATIONS - SHEET 1

Sheet Status
NOT FOR CONSTRUCTION

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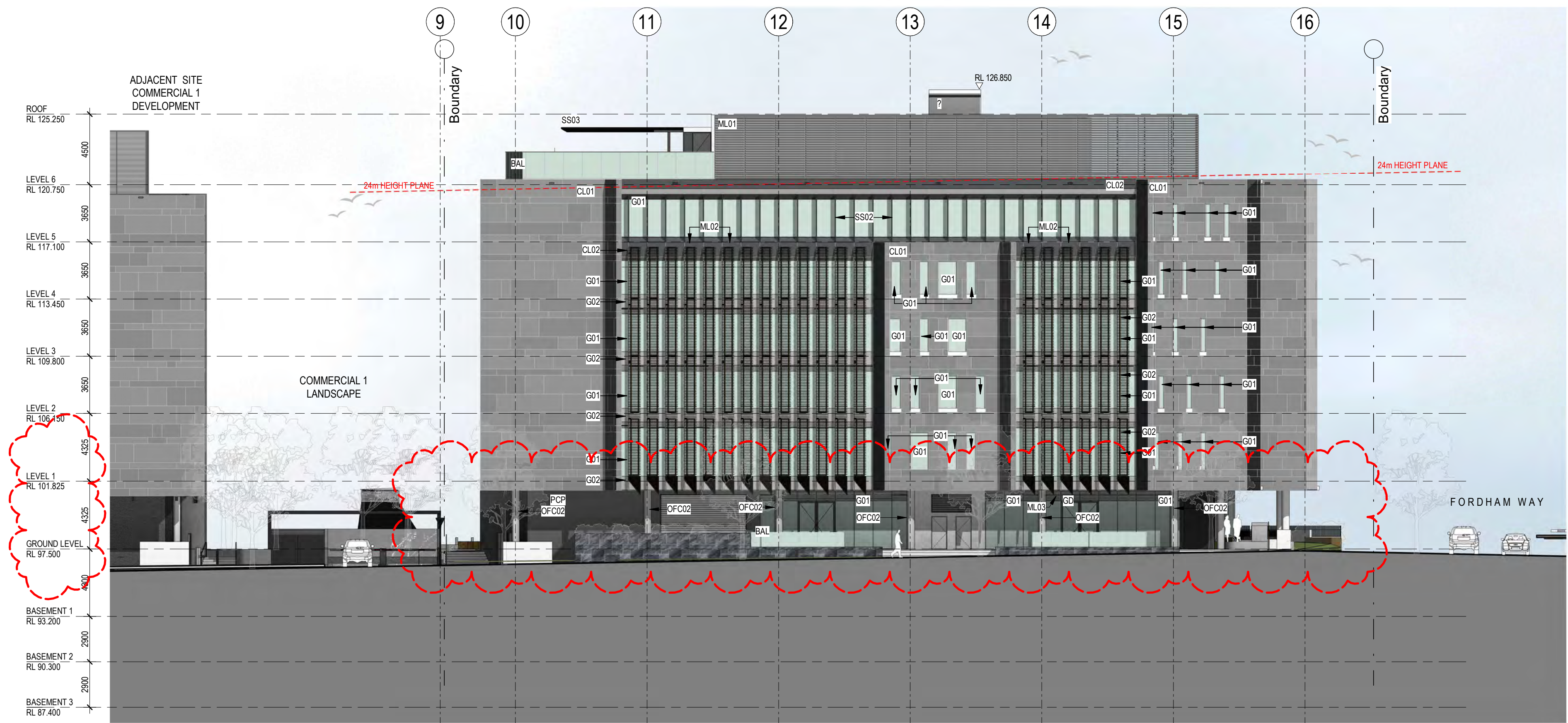
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Issue



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2 WEST ELEVATION
1:200



1 NORTH ELEVATION
1:200

MATERIAL LEGEND		
INDICATIVE MATERIAL EXAMPLE	MATERIAL CODE	MATERIAL DESCRIPTION
	BAL	FRAMELESS GLASS BALUSTRADE
	CL01	CLADDING TYPE 01 (FIBRE CEMENT CLADDING)
	CL02	CLADDING TYPE 02 (FULLY NON-COMBUSTIBLE METAL CLADDING)
	CL03	CLADDING TYPE 03 (SOLID BRONZE METAL CLADDING)
	G01	ALUMINIUM FRAMED VISION GLASS
	G02	ALUMINIUM FRAMED OPAQUE GLAZING (SPANDREL)
	GD	GLAZED ENTRY DOOR
	ML01	METAL LOUVRE (PLANT)
	ML02	METAL LOUVRE PANEL (SOLAR SHADING)
	OFC01	OFF-FORM CONCRETE
	OFC02	OFF-WHITE CONCRETE RENDER (CLASS 1)
	PCP	PRECAST CONCRETE PANEL
	SS01	HORIZONTAL FACADE SUN SHELF
	SS02	VERTICAL SOLAR SHADING
	SS03	HORIZONTAL SUN SHELF

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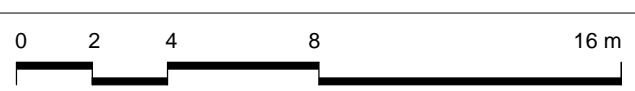
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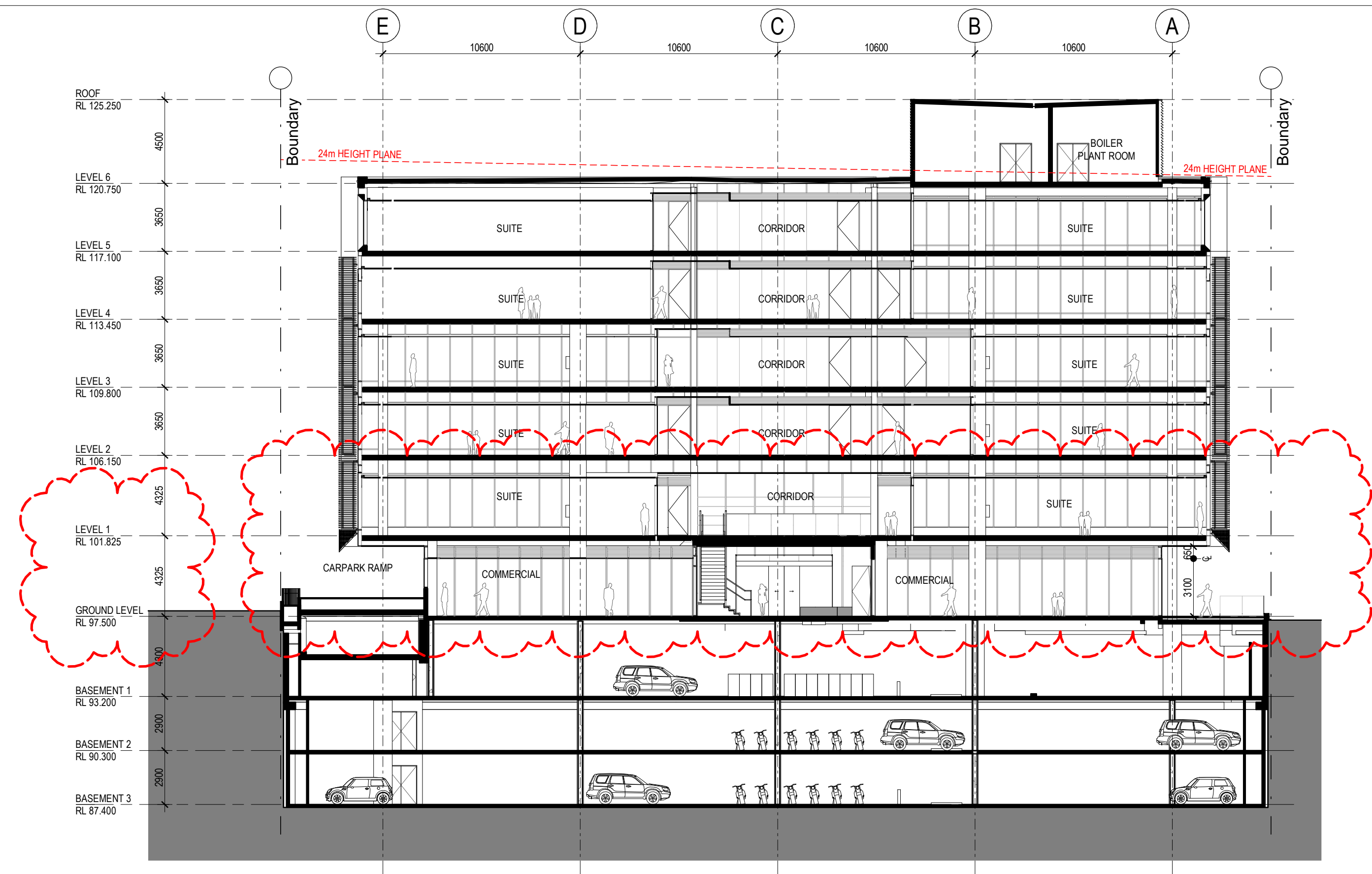
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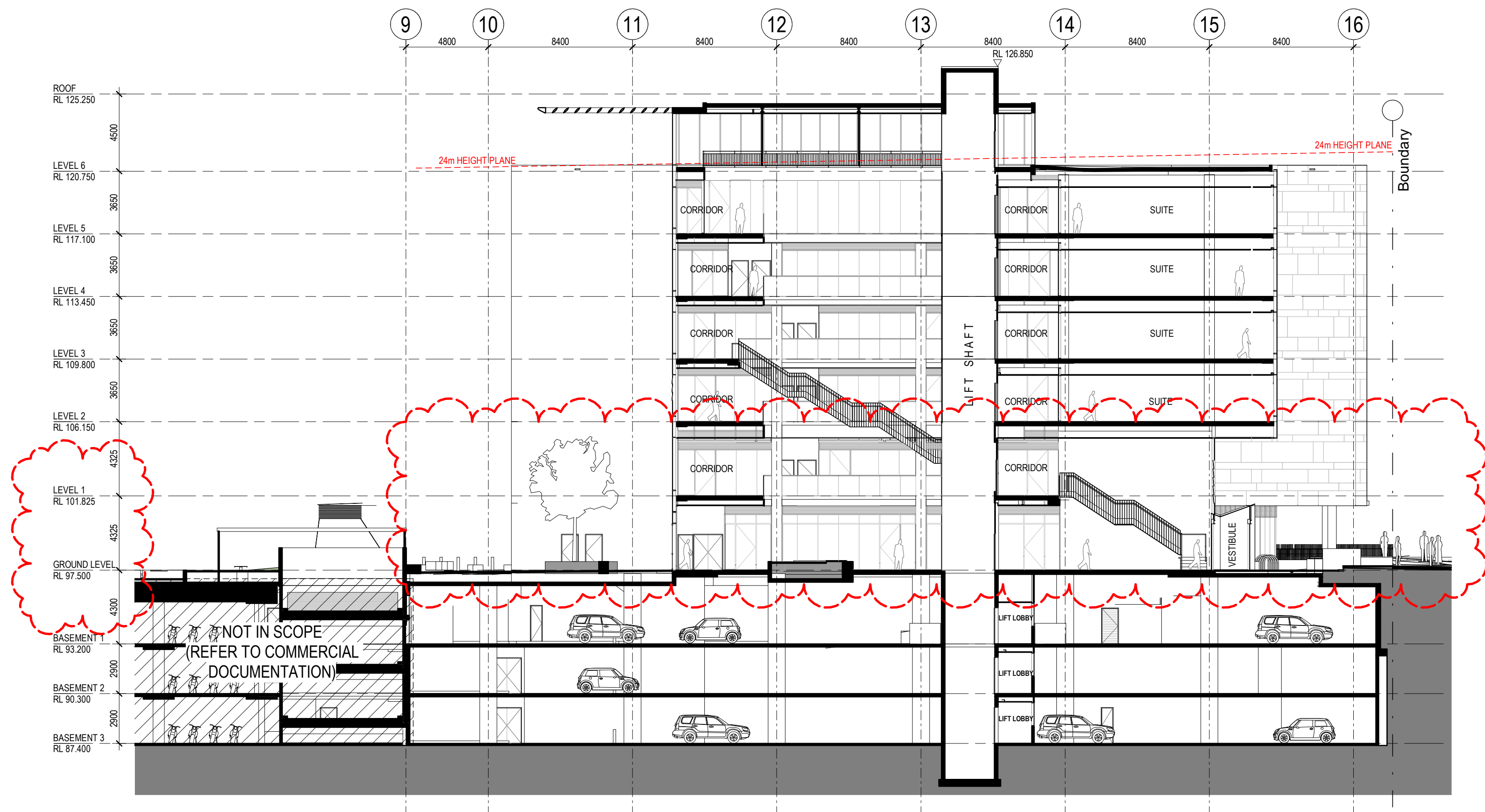
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2 SECTION BB
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1 SECTION AA
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Revisions No.	Date	Description	Ver	App'd
1	08/10/18	ISSUED FOR INFORMATION		
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Proj. No. 18032

Drawing Title

SECTIONS

Sheet Status

NOT FOR CONSTRUCTION

Scale

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Drawing No.

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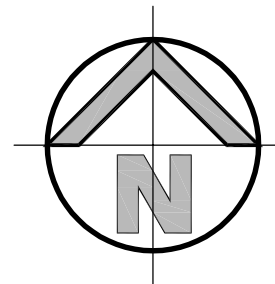
Issue



PROPOSED COMMERCIAL BUILDING 2 ORAN PARK DRIVE, ORAN PARK NSW CIVIL ENGINEERING WORKS

GENERAL NOTES:

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH CAMDEN COUNCIL'S SPECIFICATION. CONTRACTOR TO OBTAIN AND RETAIN A COPY ON SITE DURING THE COURSE OF THE WORKS.
2. ALL NEW WORKS ARE TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS AND MARRY IN A 'WORKMANLIKE' MANNER.
3. THE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL SERVICES WITH EACH RELEVANT AUTHORITY. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED BY THE CONTRACTOR OR THE RELEVANT AUTHORITY AT THE CONTRACTOR'S EXPENSE. SERVICES SHOWN ON THESE PLANS ARE ONLY THOSE EVIDENT AT THE TIME OF SURVEY OR AS DETERMINED FROM SERVICE DIAGRAMS. HENRY AND HYMAS CONSULTING PTY. LTD. CANNOT GUARANTEE THE INFORMATION SHOWN NOR ACCEPT ANY RESPONSIBILITY FOR INACCURACIES OR INCOMPLETE DATA.
4. SERVICES & ACCESSSES TO THE EXISTING PROPERTIES ARE TO BE MAINTAINED IN WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.
5. ADJUST EXISTING SERVICE COVERS TO SUIT NEW FINISHED LEVELS TO RELEVANT AUTHORITY REQUIREMENTS WHERE NECESSARY.
6. REINSTATE AND STABILISE ALL DISTURBED LANDSCAPED AREAS.
7. MINIMUM GRADE OF SUBSOIL SHALL BE 0.5% (1:200) FALL TO OUTLETS.
8. ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS, EROSION AND SEDIMENTATION CONTROL PLAN AND CAMDEN COUNCIL'S REQUIREMENTS WHERE APPLICABLE.
9. CONTRACTOR TO CHECK AND CONFIRM SITE DRAINAGE CONNECTIONS ACROSS THE VERGE PRIOR TO COMMENCEMENT OF SITE DRAINAGE WORKS.
10. PROPERTIES AFFECTED BY THE WORKS ARE TO BE NOTIFIED IN ADVANCE WHERE DISRUPTION TO EXISTING ACCESS IS LIKELY.



LOCALITY SKETCH

SCALE: N.T.S.

EXISTING SERVICES & FEATURES

- THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL (IF REQUIRED) OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA OR AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
- THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF HIS PROGRAM FOR THE RELOCATION/ CONSTRUCTION OF TEMPORARY SERVICES.
- CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDING REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED, THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
- INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. CONTRACTOR TO GAIN APPROVAL FROM THE SUPERINTENDENT FOR TIME OF INTERRUPTION.
- EXISTING SERVICES, BUILDINGS, EXTERNAL STRUCTURES AND TREES SHOWN ON THESE DRAWINGS ARE EXISTING FEATURES PRIOR TO ANY DEMOLITION WORKS.
- EXISTING SERVICES UNLESS SHOWN ON SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE A DIAL BEFORE YOU DIG' SEARCH AND TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN 800 uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.

DRAWING SCHEDULE

DRAWING SCHEDULE	
18B14_DA_C000	COVER SHEET, DRAWING SCHEDULE, NOTES & LOCALITY SKETCH
18B14_DA_C100	GENERAL ARRANGEMENT PLAN
18B14_DA_C101	DETAIL SITE PLAN
18B14_DA_C200	STORMWATER MISCELLANEOUS DETAILS & PIT LID SCHEDULE
18B14_DA_C201	OSD AND RAINWATER TANK PLAN, SECTIONS AND DETAILS
18B14_DA_C202	OSD AND RAINWATER TANK SECTIONS
18B14_DA_C250	STORMWATER CATCHMENT PLAN
18B14_DA_SE01	SEDIMENT & EROSION CONTROL PLAN
18B14_DA_SE02	SEDIMENT & EROSION CONTROL TYPICAL SECTIONS & DETAILS

SITWORKS NOTES

- DATUM : A.H.D.
- ORIGIN OF LEVELS : REFER TO BENCH OR STATE SURVEY MARKS WHERE SHOWN ON PLAN.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE DIRECTIONS OF THE SUPERINTENDENT.
- EXISTING SERVICES UNLESS SHOWN ON THE SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- WHERE NEW WORKS ABOUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS ACHIEVED.
- THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
- CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION IS TO BE UNDERTAKEN UNDER TELSTRA OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
- CONTRACTOR TO OBTAIN AUTHORITY APPROVALS WHERE APPLICABLE.
- MAKE SMOOTH TRANSITION TO EXISTING SURFACES AND MAKE GOOD.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED LANDSCAPE, ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS
- OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED RELATING TO DEVELOPMENT AT THE SITE.
- TRENCHES THROUGH EXISTING ROAD AND CONCRETE PAVEMENTS SHALL BE SAWCUT TO FULL DEPTH OF CONCRETE AND A MINIMUM OF 50mm IN BITUMINOUS PAVING.
- ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN Ø80 uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.
- GRADES TO PAVEMENTS TO BE AS IMPLIED BY RL'S ON PLAN. GRADE EVENLY BETWEEN NOMINATED RL'S AREAS EXHIBITING PONDING GREATER THAN 5mm DEPTH WILL NOT BE ACCEPTED UNLESS IN A DESIGNATED SAG POINT.
- ALL COVERS AND GRATES ETC TO EXISTING SERVICE UTILITIES ARE TO BE ADJUSTED TO SUIT NEW FINISHED SURFACE LEVELS WHERE APPLICABLE.


SURVEY NOTES

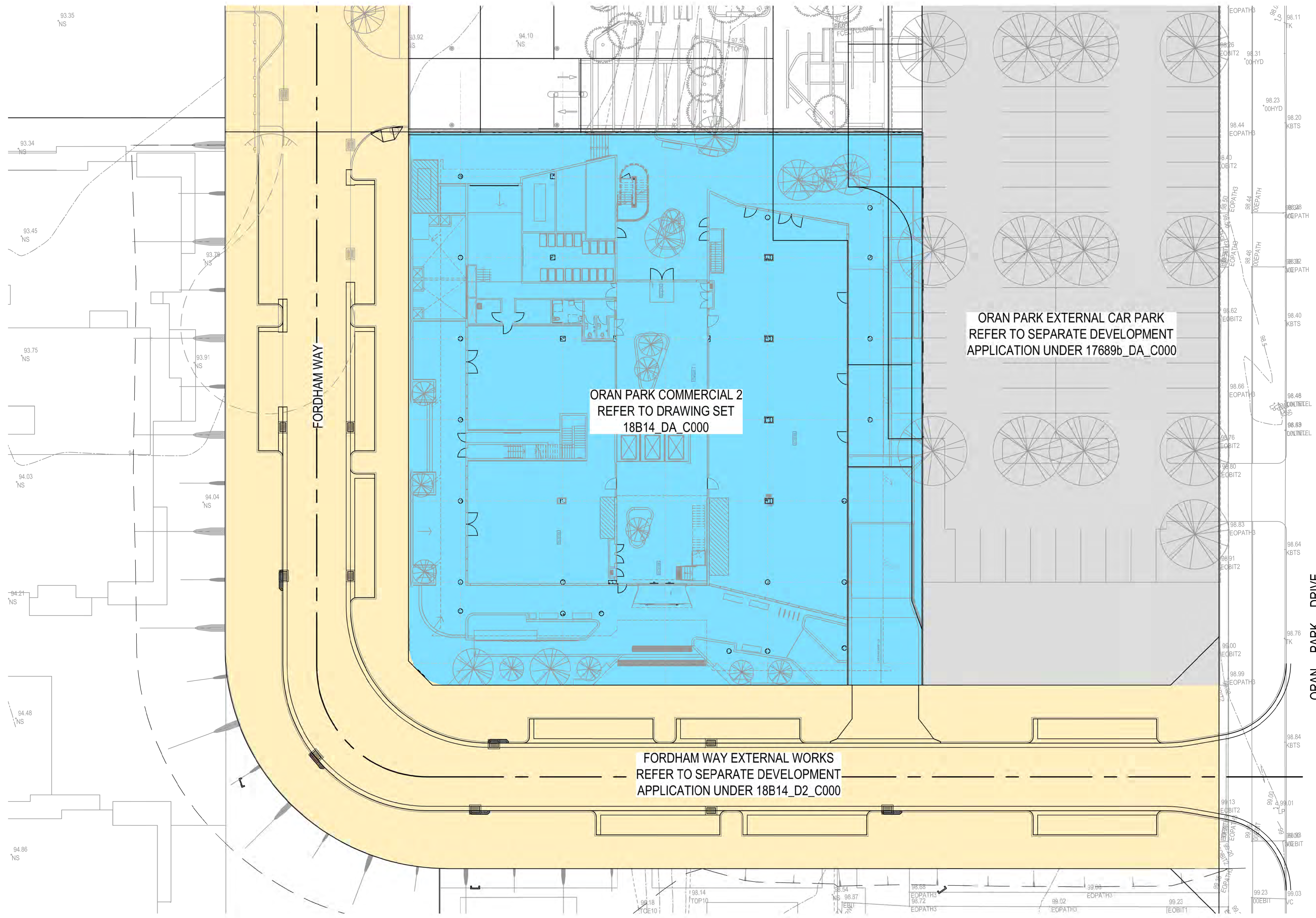
THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY THE SURVEYOR SPECIFIED IN THE TITLE BLOCK.

THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. HENRY AND HYMAS PTY. LTD. DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

SURPRISE DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT HENRY AND HYMAS PTY. LTD. THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM ORIGINAL SURVEY DOCUMENTS.

FOR DA ONLY

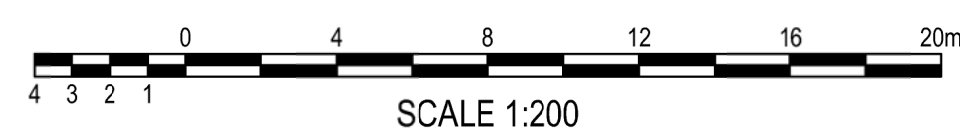
										Client										Project										Drawn										Designed										Date																																																	
										GREENFIELDS DEVELOPMENT COMPANY										Level 5, 79 Victoria Avenue Chattswood NSW 2067										 henry&hymas										J.J.Knight										N.Heazlewood										OCT 2018																																							
04 ISSUED FOR DA ONLY										IK NH 24.06.2019										Architect ALLEN JACK + COTTIER This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas.										Checked										Approved										Scale																																																	
03 ISSUED FOR DA ONLY										MS NH 12.06.2019																				N.Heazlewood										A.Francis										N.T.S. @ A1																																																	
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REVISION										AMENDMENT										DRAWN										DESIGNED										DATE										REVISION										AMENDMENT										DRAWN										DESIGNED										DATE									



FORDHAM WAY EXTERNAL WORKS
REFER TO SEPARATE DEVELOPMENT
APPLICATION UNDER 18B14_D2_C000

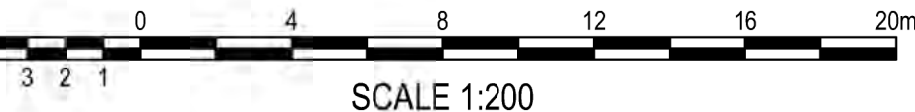
FORDHAM WAY -

ORAN PARK DRIVE



FOR DA ONLY

[illegible]



DETAIL SITE PLAN
SCALE: 1:200

FOR DA ONLY

[illegible]

IT IS THE CONTRACTORS RESPONSIBILITY TO SELECT PIT CHAMBER SIZE WITH REGARDS TO PIPE SIZE, DEPTH TO INVERT AND SKEW ANGLE. REFER SKETCHES BELOW.

-
- FOR REINFORCEMENT TO HAUNCH SEE BELOW
- SECTION
NTS
- * A = 900
- SECTION
NTS
- PIPE DIA. + 150
- Detailed description: The image contains two technical drawings of manhole sections. The left drawing, labeled 'SECTION NTS', shows a square manhole with a circular opening at the bottom. The width is dimensioned as 'A = 900' and the height as 'H'. A callout points to the top corner with the text 'FOR REINFORCEMENT TO HAUNCH SEE BELOW'. The right drawing, labeled 'SECTION NTS', shows a square manhole with a circular opening. The width is dimensioned as 'A' and the height as 'H'. Below the width dimension is the text 'PIPE DIA. + 150'. Both drawings show a cross-section of a concrete structure with reinforcement bars (rebar) indicated by small circles and lines.

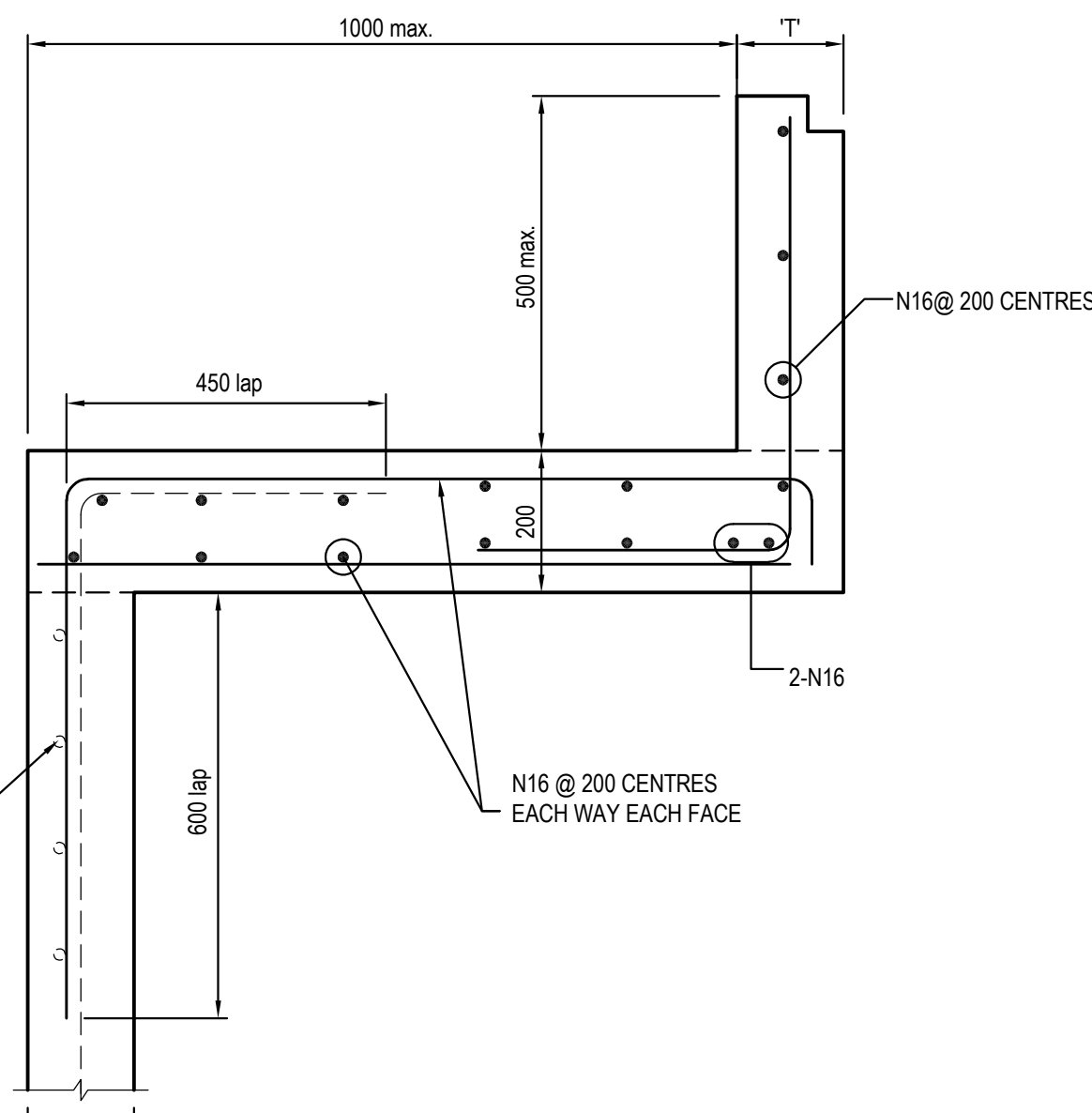
① PIT CHAMBER DIMENSIONS
FOR PIPES UP TO 600 DIA.

H = 0-900mm - AxB = 600x600mm
H = 900-1200mm - AxB = 900x600mm
H = >1200mm - AxB = 900x900mm

① PIT CHAMBER FOR PIPES
GREATER THAN 600 DIA.

Diagram illustrating the plan view of a rectangular structure, likely a culvert or bridge pier, showing flow direction and dimensions. The structure is rectangular with a central opening. Flow is indicated by arrows pointing from left to right. Dimension A is the width of the central opening, and dimension B is the width of the structure. The diagram is labeled "PLAN" and "NTS" (Not To Scale).

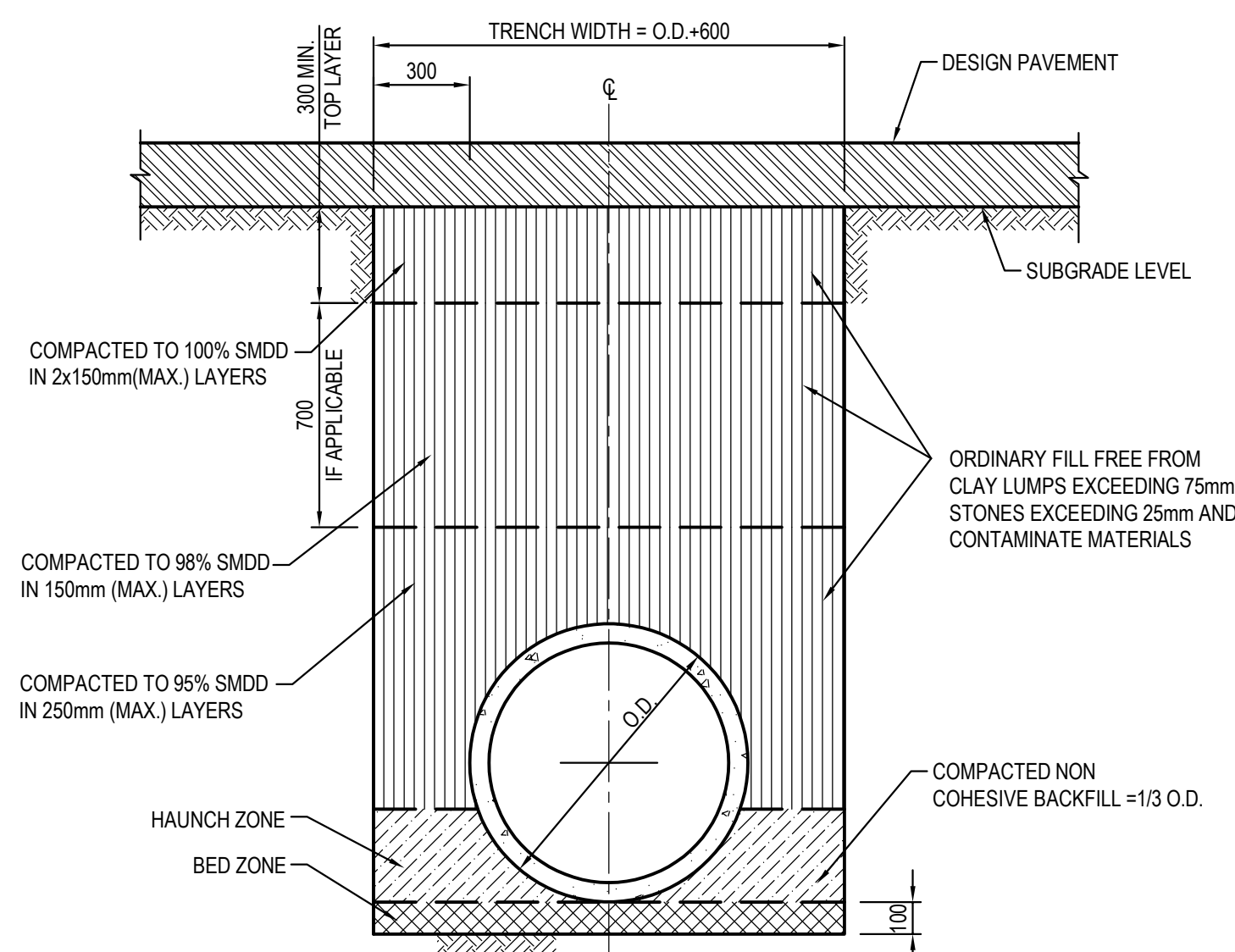
③ PIT CHAMBER FOR
SIDE ENTRY ON SKEW



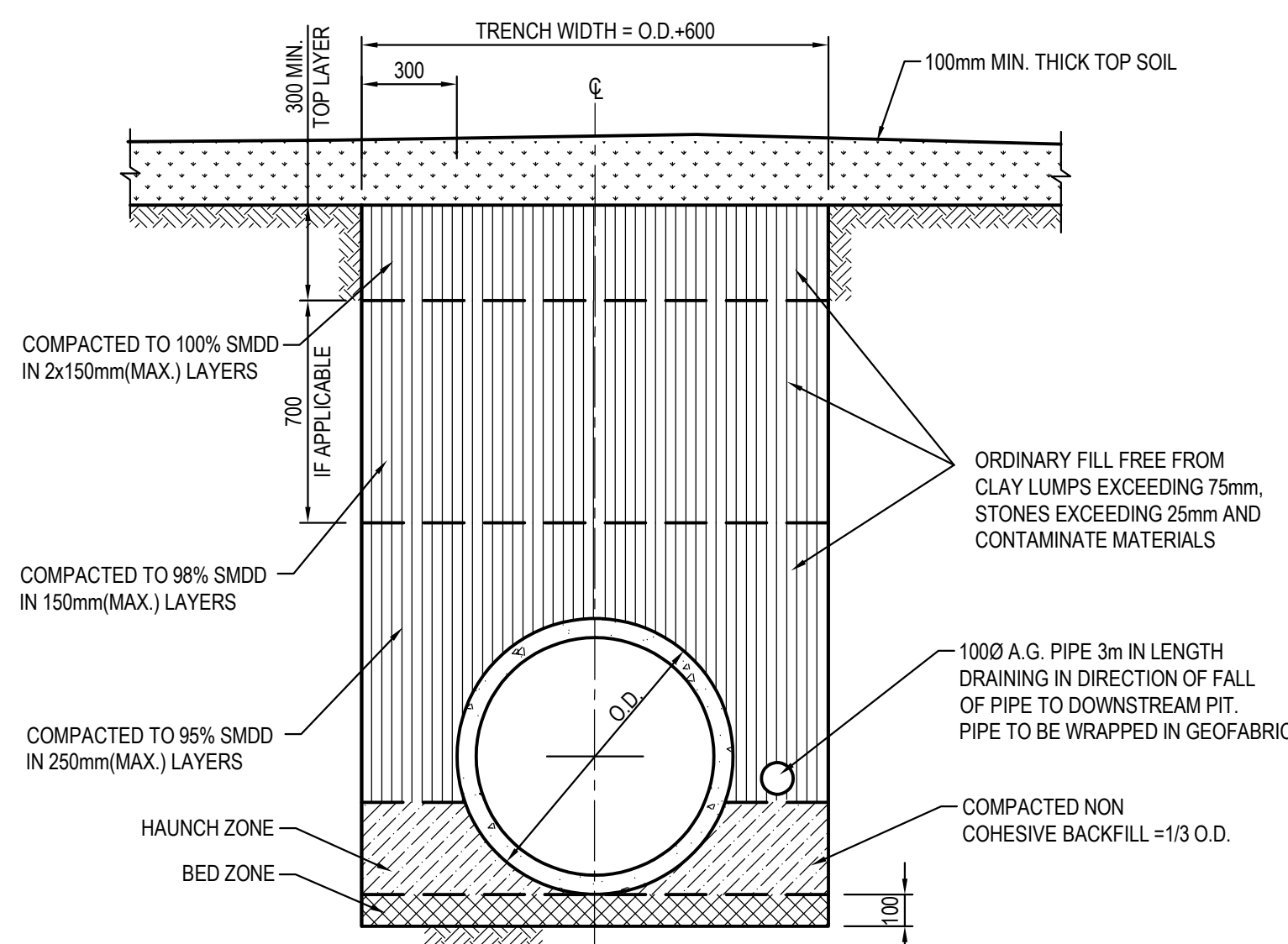
HAUNCH DETAIL -TYPICAL

PIT/STRUCTURE NUMBER	DESCRIPTION
<div> <div>D-7</div> <div>D-8</div> <div>D-9</div> </div>	PROPOSED 900x900 JUNCTION MEDIUM DUTY SEALED LID CLASS "C" WITHIN OSD/ RW TANK, IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENT.
<div> <div>D-5</div> <div>D-6</div> </div>	PROPOSED 900x900 GRATED MEDIUM DUTY INLET LID CLASS "C" WITHIN OSD/ RW TANK, IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENT.
<div> <div>6D-1</div> <div>6D-2</div> <div>6D-3</div> <div>6D-4</div> <div>6D-5</div> <div>6D-6</div> </div>	150mm WIDE MEDIUM DUTY GRATED DRAIN AND MEDIUM DUTY FRAME CLASS "C" IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENT.
RWO	200x200mm RAINWATER OUTLET CAST INTO STRUCTURAL SLAB

1. ALL STORMWATER WORK TO COMPLY WITH AS 3500 PART 3.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE MINIMUM COVER OF 600mm ON ALL PIPES.
3. PROTECTION OF PIPES DUE TO LOADS EXCEEDING W7 WHEEL LOAD SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. BEDDING TYPE SHALL BE TYPE H2 FOR RCP. WHERE NECESSARY THE OVERLAY ZONE SHALL BE REDUCED TO ACCOMMODATE PAVEMENT REQUIREMENTS. REFER TO THIS DRAWING FOR DETAILS.
5. MINIMUM COVER OVER EXISTING PIPES FOR PROTECTION DURING CONSTRUCTION SHALL BE 800mm.
6. NO CONSTRUCTION LOADS SHALL BE APPLIED TO PLASTIC PIPES.
7. FINISHED SURFACE LEVELS SHOWN ON LAYOUT PLAN DRGS TAKE PRECEDENCE OVER DESIGN DRAINAGE SURFACE LEVELS.
8. ALL PIPES UP TO AND INCLUDING 300 DIA. SHALL BE SOLVENT OR RUBBER RING JOINTED PVC CLASS SH PIPE TO AS1280. ALL OTHER PIPES TO BE RCP USING CLASS 2 RUBBER RING JOINTED PIPE. HARDIES FRC PIPE MAY BE USED IN LIEU OF RCP IF DESIGNED IN THIS MANNER. ALL AERIAL PIPES TO BE PVC CLASS SH.
9. ALL PITS IN NON TRAFFICABLE AREAS TO BE PREFABRICATED POLYESTER CONCRETE "POLYCRETE" WITH "LIGHT DUTY" CLASS B GALV. MILD STEEL GRATING AND FRAME.
ALL PITS IN TRAFFICABLE AREAS (CLASS "D" LOADING MAY) TO HAVE 150mm THICK CONCRETE WALLS AND BASE CAST IN-SITU f_{cd}=32 MPa. REINFORCED WITH N12-200 BOTH LOADING WAYS CENTRALLY PLACE. U.N.O. ON SEPARATE DESIGN DRAWINGS IN THIS SET. GALV.MILD STEEL GRATING AND FRAME TO SUIT DESIGN LOADING. PRECAST PITS, RECTANGULAR OR CIRCULAR IN SHAPE, MAY BE USED IN LIEU AND SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.
10. ALL PITS, GRATINGS AND FRAMES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION AND TO BE IN ACCORDANCE WITH AS3500.3 AND AS3996.
11. PIT CHAMBER DIMENSIONS ARE TO BE SELECTED TO SATISFY THE FOLLOWING:
 - PIPE SIZE
 - DEPTH TO INVERT
 - SKEW ANGLEREFER TYPICAL PIT CHAMBER DETAILS BELOW
- IF PIT LID SIZE IS SMALLER THAN THE PIT CHAMBER SIZE THEN THE PIT LID IS TO BE CONSTRUCTED ON THE CORNER OF THE PIT CHAMBER WITH THE STEP IRONS DIRECTLY BELOW. ALTERNATIVELY THE PIT LID TO BE USED, IS TO BE THE SAME SIZE AS THE PIT CHAMBER.

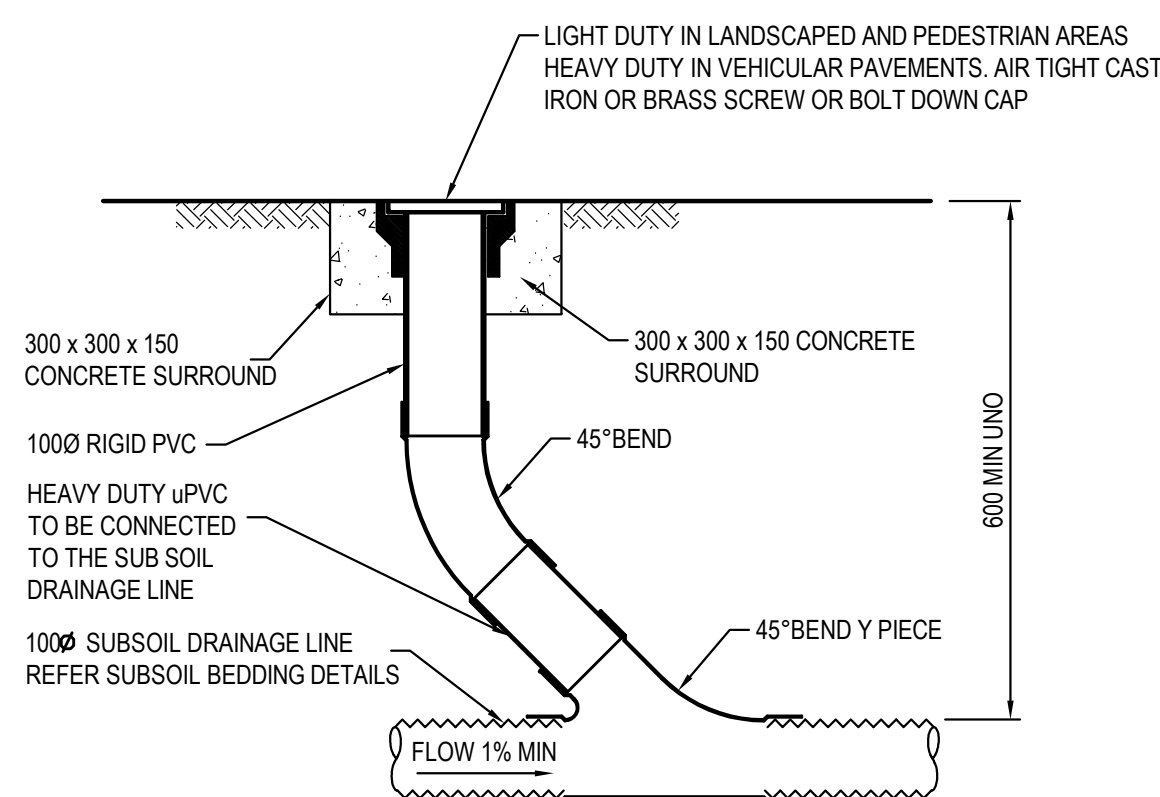


PIPE TRENCH INSTALLATION
BENEATH PAVEMENT
(H1 & H2 SUPPORT)
SCALE 1:20

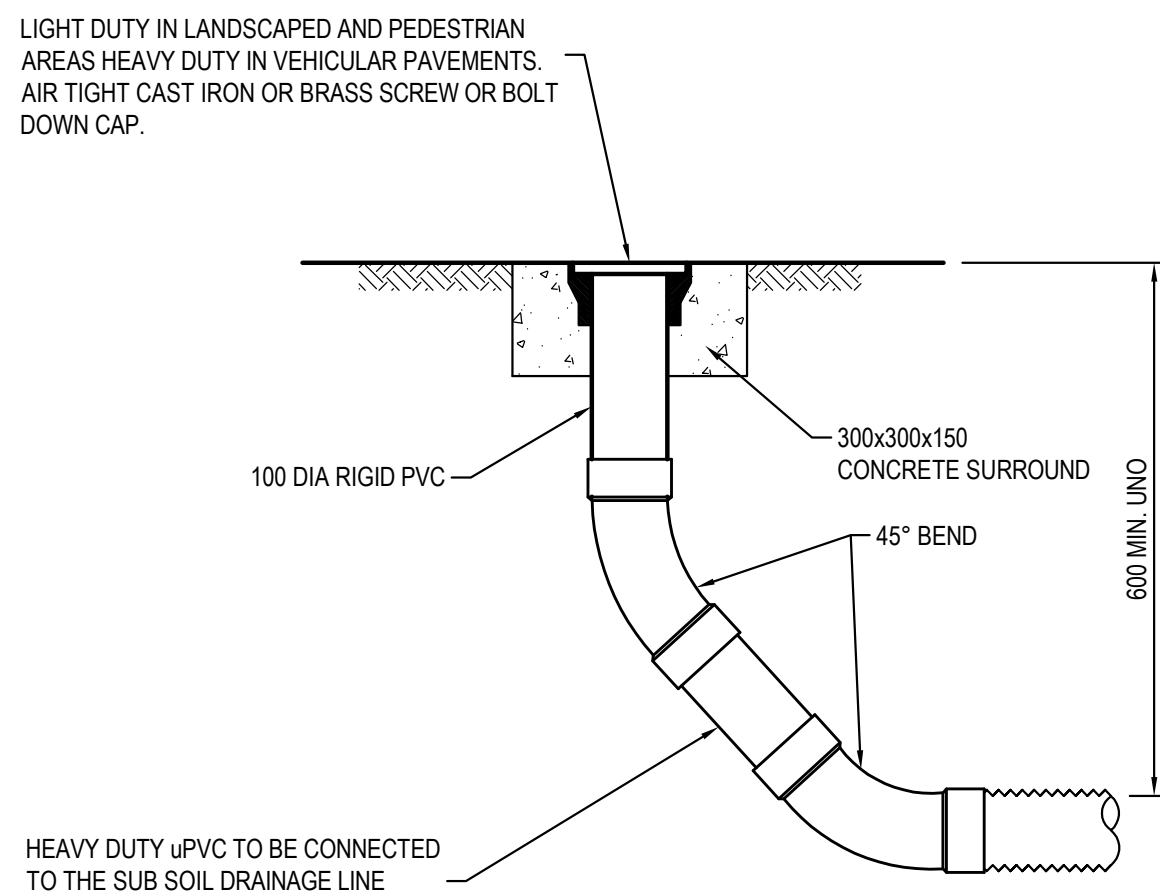


PIPE TRENCH INSTALLATION IN LANDSCAPE AREAS

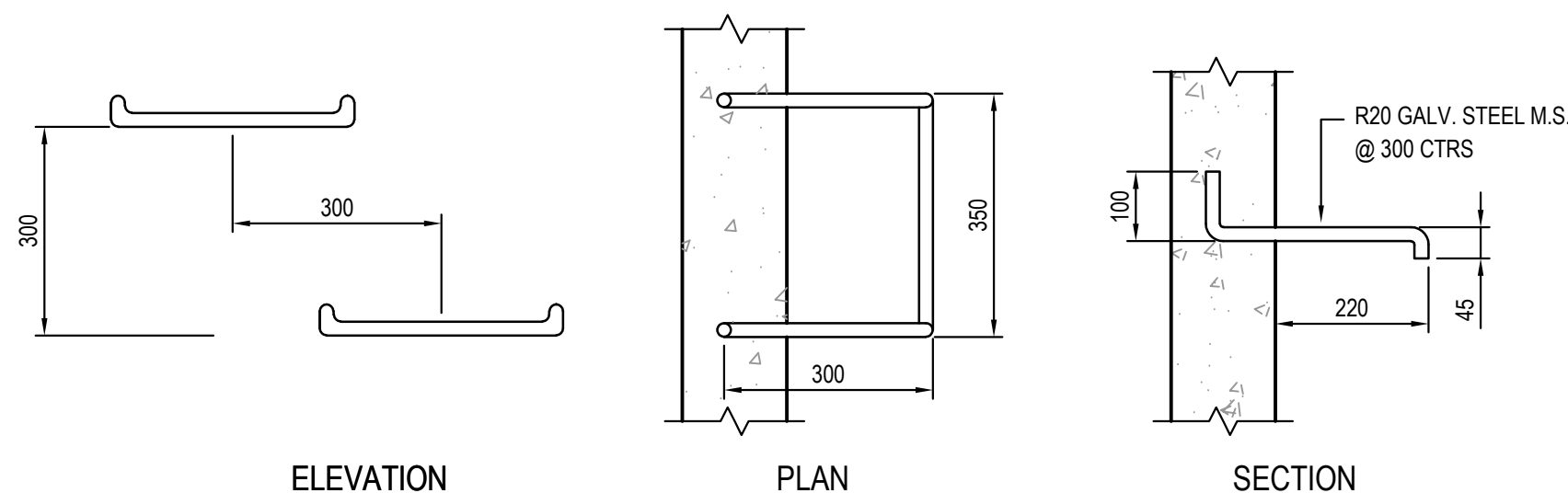
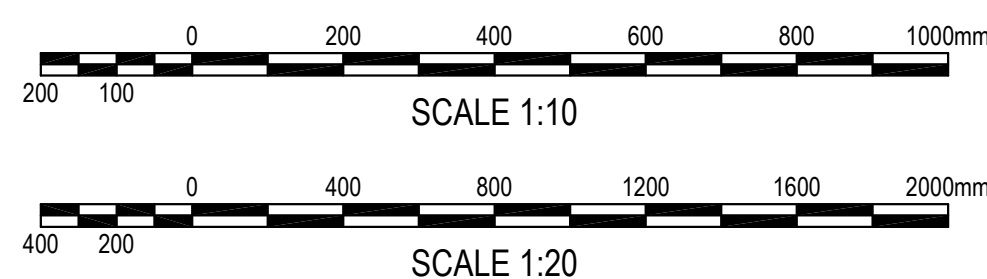
(H1 & H2 SUPPORT)
SCALE 1:20



INTERMEDIATE RISER (IR)
SCALE 1:10
NOTE: SLOTTED RIGID PVC PIPE AND
FITTINGS MAY BE USED



FLUSHING POINT (FP)
SCALE 1:10
NOTE: SLOTTED RIGID PVC PIPE AND
FITTINGS MAY BE USED



TYPICAL STEP IRON DETAIL

03	ISSUED FOR DA ONLY		IK	NH	16/03/2020				
02	ISSUED FOR DA ONLY		IK	NH	17/01/2019				
01	ISSUED FOR DA ONLY		IK	NH	05/12/2018				
REVISION	AMENDMENT	DRAWN	DESIGNED	DATE	REVISION	AMENDMENT	DRAWN	DESIGNED	DATE

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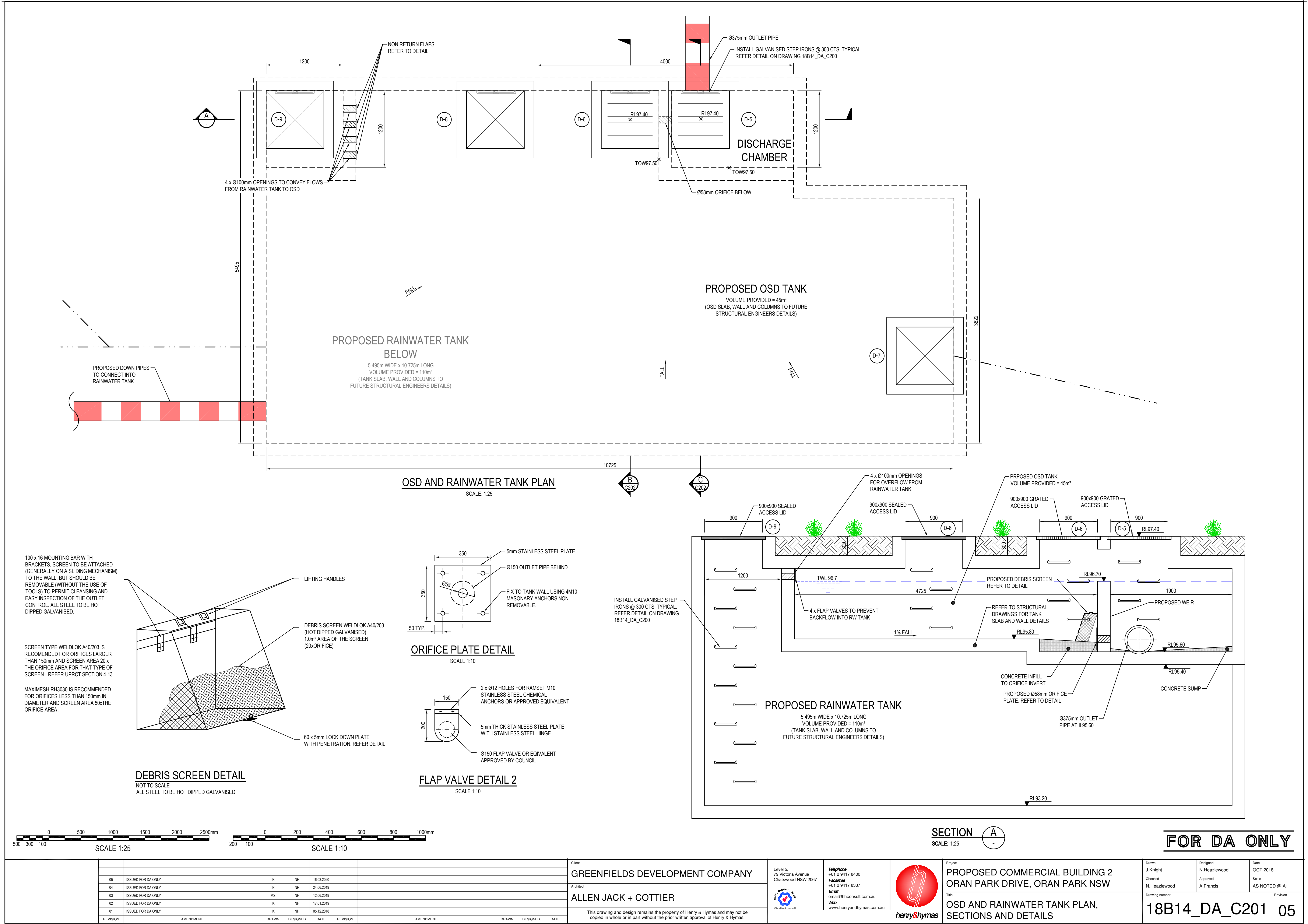


Project	PROPOSED COMMERCIAL BUILDING 2 ORAN PARK DRIVE, ORAN PARK NSW
Title	STORMWATER MISCELLANEOUS DETAILS & PIT LID SCHEDULE

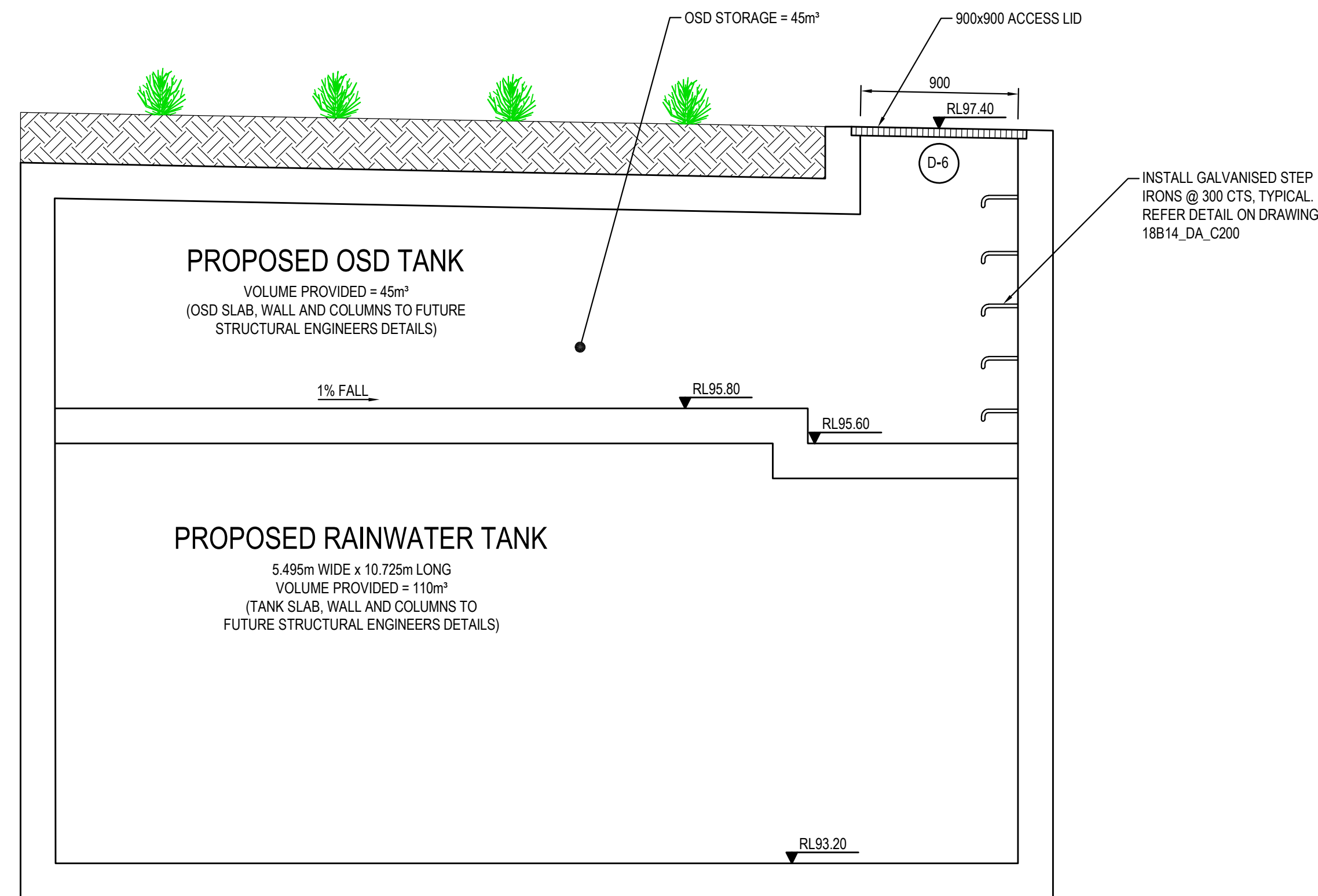
FOR DA ONLY

Drawn J.Knight	Designed N.Heazlewood	Date OCT 2018
Checked A.Francis	Approved A.Francis	Scale AS NOTED @ A1

18B14_DA_C200	03
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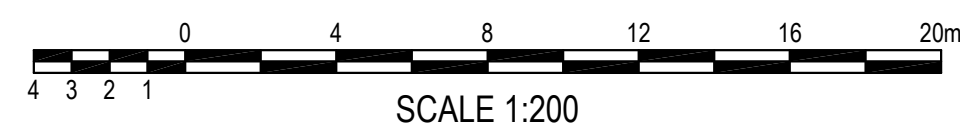
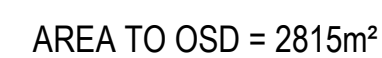


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[illegible]



TOTAL SITE AREA = 2950 m²



SCALE: 1:200

FOR DA ONLY

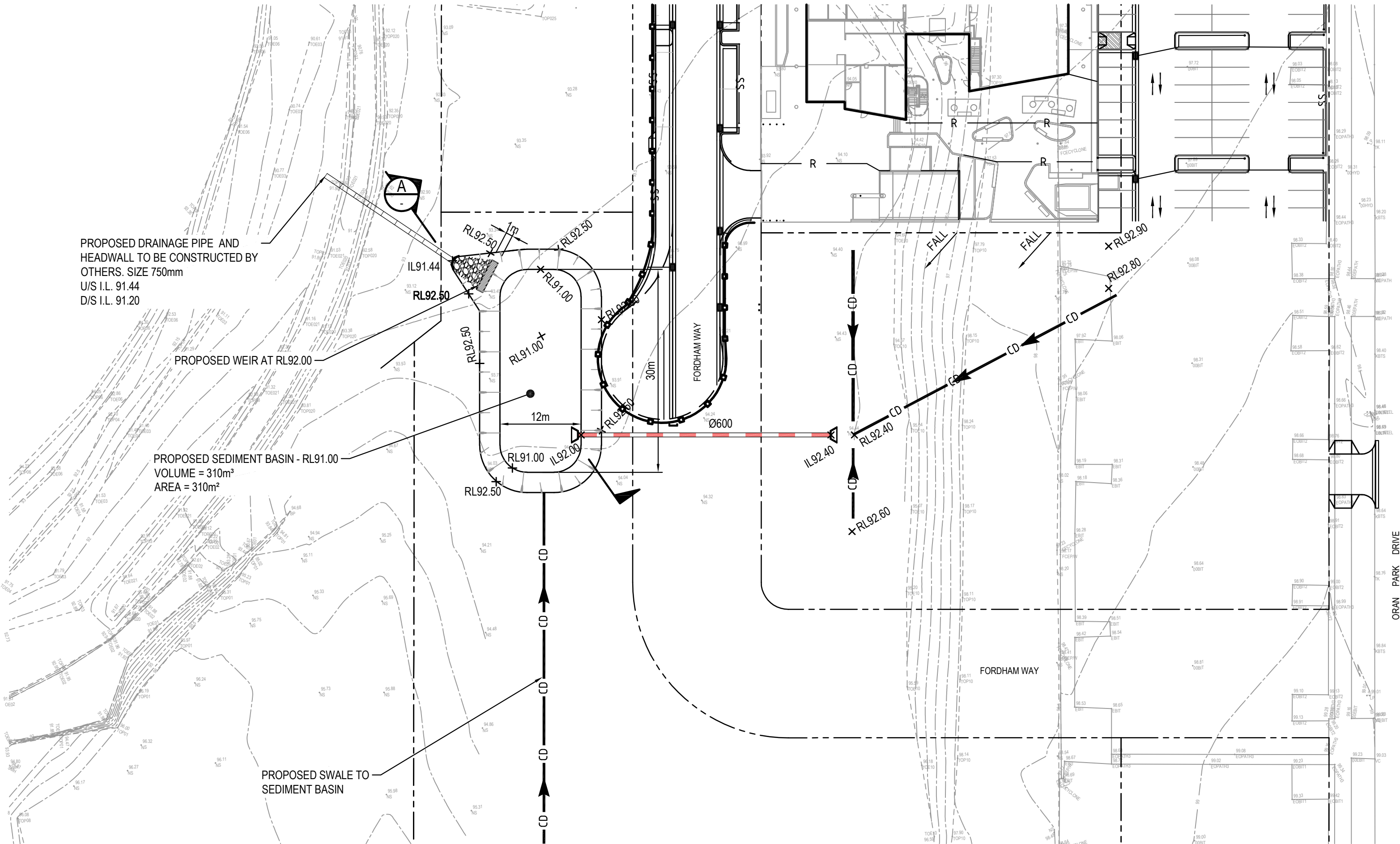
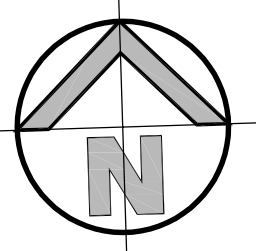
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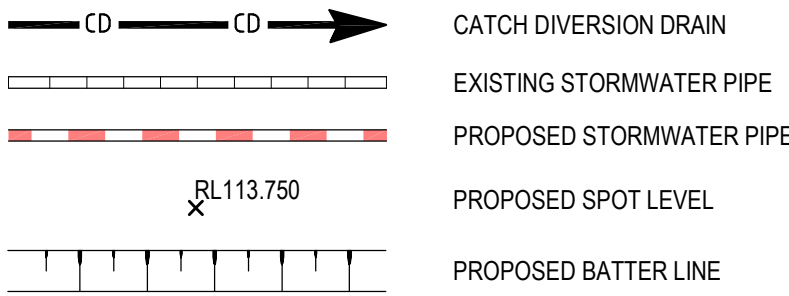
Title
STORMWATER CATCHMENT PLAN

Drawing number	Revision
18B14_DA_C250	06



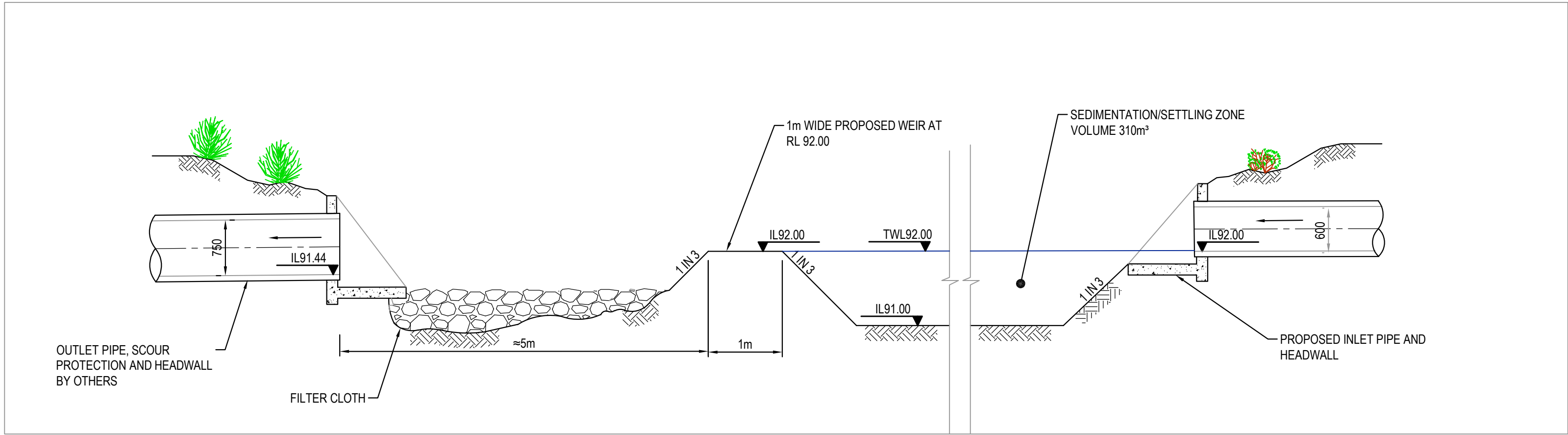
SEDIMENT & EROSION CONTROL PLAN
SCALE: 1:200

LEGEND

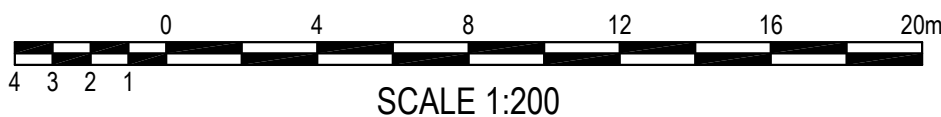


SEDIMENT & EROSION CONTROL NOTES



- ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH RESPECTIVE COUNCIL SPECIFICATIONS AND LANDCOM'S "SOIL AND CONSTRUCTION" MANUAL.
- ALL PERIMETER & SILTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN EARTH WORKS AND/OR CLEARING.
- THE SEDIMENT & EROSION CONTROL PLAN MAY REQUIRE FUTURE ADJUSTMENT TO REFLECT CONSTRUCTION STAGING. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO PREPARE THEIR OWN SEDIMENT AND EROSION CONTROL PLAN WHICH SUITS THE DESIGNED CONSTRUCTION STAGING.
- FILTRATION BUFFER ZONES ARE TO BE FENCED OFF AND ACCESS PROHIBITED TO ALL PLANT AND MACHINERY.
- ALL TEMPORARY EARTH BERMS, DIVERSIONS & SILT DAM EMBANKMENTS ARE TO BE MACHINE COMPACTED, SEEDED & MULCHED FOR TEMPORARY VEGETATION COVER AS SOON AS THEY HAVE BEEN FORMED.
- ALL SEDIMENT TRAPPING STRUCTURES AND DEVICES ARE TO BE INSPECTED AFTER STORMS FOR STRUCTURAL DAMAGE OR CLOGGING. TRAPPED MATERIAL IS TO BE REMOVED TO A SAFE LOCATION.
- ALL TOPSOIL IS TO BE STOCKPILED ON SITE FOR REUSE (AWAY FROM TREES AND DRAINAGE LINES). MEASURES SHALL BE APPLIED TO PREVENT EROSION OF THE STOCKPILES.
- ALL EARTHWORK AREAS SHALL BE ROLLED EACH EVENING TO SEAL THE EARTHWORKS.
- ALL FILLS ARE TO BE LEFT WITH A LIP AT THE TOP OF THE SLOPE AT THE END. ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND STRAW MULCHED WITHIN 14 DAYS OF COMPLETION OF FORMATION U.N.O. BY LANDSCAPE ARCHITECTS.
- UPON COMPLETION OF ALL EARTHWORKS OR AS DIRECTED BY COUNCIL SOIL CONSERVATION TREATMENTS SHALL BE APPLIED SO AS TO RENDER AREAS THAT HAVE BEEN DISTURBED, EROSION PROOF WITHIN 14 DAYS.
- EROSION AND SILT PROTECTION MEASURES ARE TO BE MAINTAINED AT ALL TIMES.

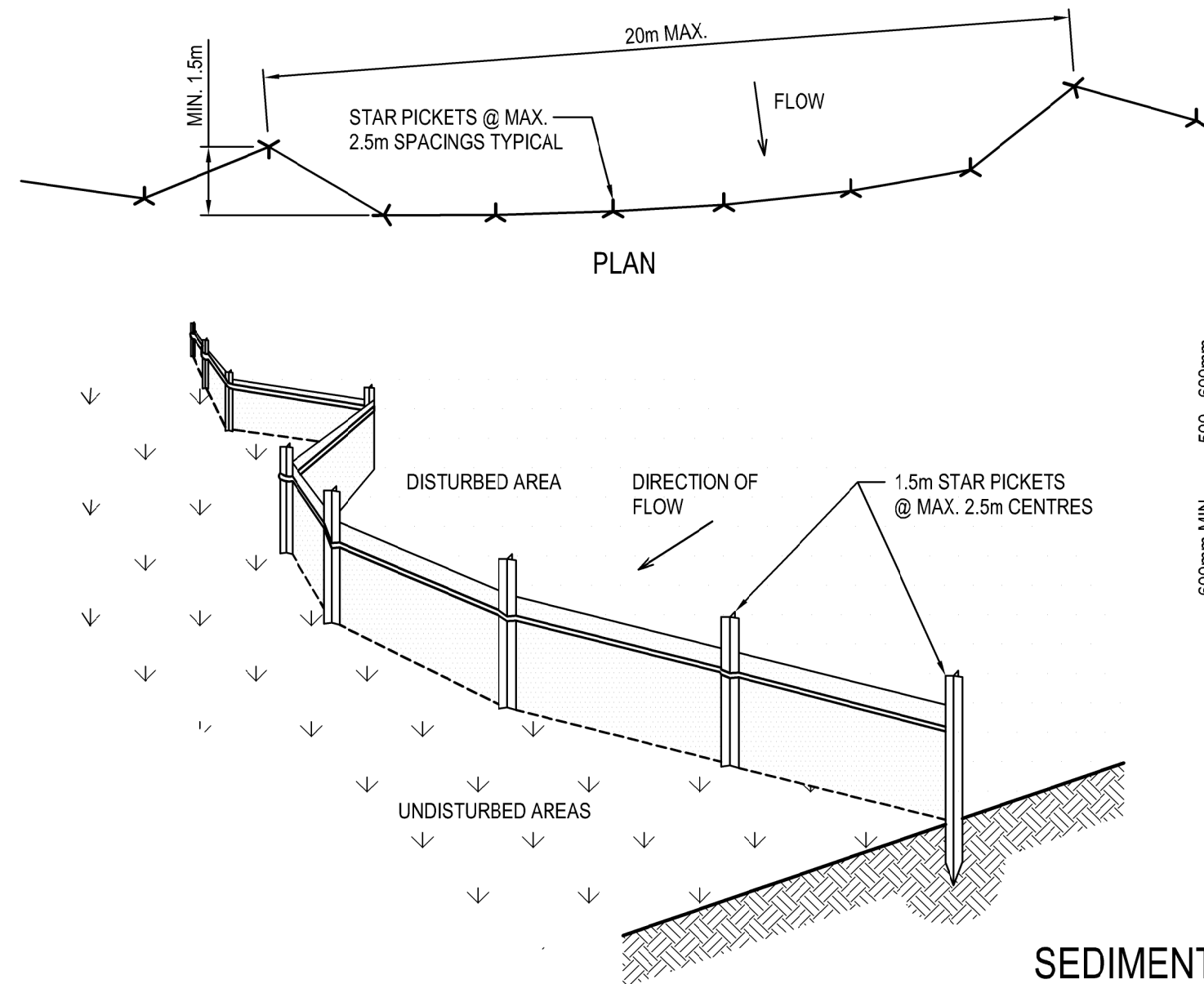


SECTION A-A
SCALE: 1:50



FOR DA ONLY

										Client GREENFIELDS DEVELOPMENT COMPANY		Level 5, 79 Victoria Avenue Chatswood NSW 2067		Telephone +61 2 9417 8400 Facsimile +61 2 9417 8337 Email email@hhconsult.com.au Web www.henryandhymas.com.au			Project PROPOSED COMMERCIAL BUILDING 2 ORAN PARK DRIVE, ORAN PARK NSW		Drawn J.Knight		Designed N.Heazlewood		Date OCT 2018		
										Architect ALLEN JACK + COTTIER							Checked A.Francis		Approved A.Francis		Scale 1:200 @ A1				
										This drawing and design remains the property of Henry & Hymas and may not be copied in whole or in part without the prior written approval of Henry & Hymas.							Title SEDIMENT & EROSION CONTROL PLAN		Drawing number 18B14_DA_SE01		Revision 03				
										REVISION		DRAWN		DESIGNED		DATE		REVISION		DRAWN		DESIGNED		DATE	
										03		ISSUED FOR DA ONLY		IK		NH		16.03.2020							
										02		ISSUED FOR DA ONLY		IK		NH		17.01.2019							
										01		ISSUED FOR DA ONLY		IK		NH		05.12.2018							



500 - 600mm

600mm MIN.

1.5m STAR PICKETS
@ MAX. 2.5m CENTRES

SELF-SUPPORTING
GEOTEXTILE

DIRECTION OF FLOW

ON SOIL, 150mm x 100mm
TRENCH WITH COMPACTED
BACKFILL AND ON ROCK, SET
INTO SURFACE CONCRETE

SECTION DETAIL

-
- The diagram illustrates a cross-section of a stabilized stockpile surface. On the left, an 'EARTH BANK' is shown with a 'FLOW' arrow indicating movement from left to right. The stockpile surface is composed of two sections, each with a '2:1 SLOPE (MAX.)'. A 'STABILISE STOCKPILE SURFACE' is indicated by a line with cross-hatching. A 'SEDIMENT FENCE' is located at the base of the second slope, represented by a vertical line with cross-hatching.

The diagram illustrates the installation of a trench for a gravel-filled wire mesh or geotextile 'sausage'. It shows a cross-section of the trench with a gravel-filled 'sausage' placed inside. A timber spacer is used to maintain the width of the trench. Labels include: 'TIMBER SPACER TO SUIT', 'KERB-SIDE INLET', 'GRAVEL-FILLED WIRE MESH OR GEOTEXTILE "SAUSAGE"', 'RUNOFF WATER WITH SEDIMENT', 'OVERFLOW', 'TIMBER SPACER TO SUIT', 'SEDIMENT', 'GRAVEL-FILLED WIRE MESH OR GEOTEXTILE "SAUSAGE"', and 'FILTERED WATER'.

1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
2. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
3. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
4. COVER THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
5. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY CAN FIRMLY ABUT EACH OTHER AND SEDIMENT / LADEN WATERS CANNOT PASS BETWEEN.

THE TYPE II SAP DESIGN IS MORE DEFINED IN THAT IT REQUIRES AN AREA OF BALLAST WITHIN THE SITE COMBINED WITH A SHAKER PAD; ADJACENT THE SHAKER PAD AND IN THE PUBLIC WAY IS A TEMPORARY (CONCRETE) VEHICULAR CROSSING. (SEE DIAGRAM)

CONCRETE 200mm THICK DRIVEWAY

VEHICLE ACCESS

KERO & GUTTER TO BE BROKEN OUT

FOOTPATH

PROPERTY BOUNDARY HOARDING

GATE

SHAKER ROAD 300mm

COMPACTED DB. 20 WHERE REQUIRED

GUIDEPPOSTS TO ACT AS BARRIERS TO DIRECT ALL VEHICLE PASS OVER THE ACCESS POINT

GATE

TO DRAINAGE STRUCTURE

PIT DISPOSAL POINT

AGRICULTURAL PIPE

BALLAST - 75mm TO 100mm Ø

GROUND SURFACE

4000mm MINIMUM

CONNECT TO AN EXISTING GUTTER LAYBACK (WHERE KERB AND GUTTER EXIST). IF A GUTTER LAYBACK DOES NOT EXIST THEN THE CONNECTION MUST BE MADE TO THE GUTTER BY REMOVING THE ADJACENT KERB SECTION ONLY.

CONNECT TO A DISH CROSSING (WHERE KERB AND GUTTER DOES NOT EXIST). IF A DISH CROSSING DOES NOT EXIST, THEN IT MUST BE CONSTRUCTED IN ACCORDANCE WITH DETAILS CONTAINED IN COUNCIL'S ISSUED FOOTPATH CROSSING LEVELS.

A CORRECTLY DESIGNED AND INSTALLED SHAKER PAD WILL ASSIST IN PREVENTING SEDIMENT TRANSFER FROM A SITE. ANY STABILISED ACCESS POINT (SAP) CAN BE DESIGNED WITH A SHAKER PAD (COMPULSORY IN TYPE II SAP'S).

- MUST BE DESIGNED AND CERTIFIED BY A PRACTICING STRUCTURAL ENGINEER. THE CERTIFIED DESIGN SHOULD BE SUBMITTED WITH THE RELEVANT APPLICATION
- CAN BE CONSTRUCTED FROM ANY SUITABLE MATERIAL
- MUST BE LOCATED ON A SUITABLY PREPARED AND COMPACTED SUB-GRADE/BASE MATERIAL
- MUST BE SITUATED SUCH THAT THE RUNGS OF THE SHAKER PAD ARE LEVEL WITH THE ADJOINING NATURAL SURFACE
- MUST BE A MINIMUM 3.5M IN LENGTH
- MUST BE A MINIMUM 3.5M IN WIDTH
- MUST HAVE CLEAR SPACING BETWEEN RUNGS OF 200 – 250MM
- RUNGS MUST HAVE A MAXIMUM WIDTH (BEARING AREA) OF 75MM
- MUST HAVE A MINIMUM CLEAR DEPTH OF 300MM IE FROM THE TOP OF THE RUNG TO THE FINISHED SUB-GRADE/BASE LEVEL

[illegible]

SCALE N.T.S.

Drawn J.Knight	Designed J.Gormly	Date OCT 2018
Checked A.Francis	Approved A.Francis	Scale N.T.S. @ A

Drawing number	Revision
18B14_DA_SE02	03

Client

GREENFIELDS DEVELOPMENT COMPANY

Architect

ALLEN JACK + COTTIER

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Project

20180186: LANDSCAPE
ARCHITECTURAL DRAWING LIST

Sheet Number	Sheet Name	Revision
LD-DA000	COVER SHEET	2
LD-DA100	SITE PLAN	2
LD-DA101	GROUNDFLOOR DETAIL PLAN 1	2
LD-DA102	GROUNDFLOOR DETAIL PLAN 2	2
LD-DA110	LEVEL 6 ROOFTOP PLAN	1

- NOTE:
- DO NOT SCALE FROM DRAWINGS. WRITTEN DIMENSIONS GOVERN. IF IN DOUBT OBTAIN WRITTEN ADVICE FROM SCOTT CARVER OR WHERE APPLICABLE VIA THE PRINCIPAL'S REPRESENTATIVE.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.ALL DIMENSIONS ARE MINIMUM SETTING OUT REQUIREMENTS.
 - ALL DIMENSIONS SHOULD BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORKS. NOTIFY THE PRINCIPALS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES
 - ALL ARCHITECTURAL DRAWINGS MUST BE READ IN CONJUNCTION WITH RELEVANT CONTRACTS, ARCHITECTURAL REPORTS, SCHEDULES AND SPECIFICATIONS AND ALL OTHER CONSULTANT / CONTRACT DOCUMENTATION. NOTIFY THE PRINCIPALS REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTATION IN WRITING TO OBTAIN CLARIFICATION DIRECTION
 - INSTALLATION OF SYSTEMS AND PROPRIETARY PRODUCTS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE INCLUDING RELEVANT AUSTRALIAN STANDARDS AND REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN WORK HEALTH AND SAFETY LEGISLATION.
 - DESIGN DRAWINGS ARE BASED ON SURVEY INFORMATION. PRIOR TO DETAILED DESIGN AND CONSTRUCTION, THE CONTRACTOR IS TO UNDERTAKE A FULL SURVEY TO VERIFY ALL DIMENSIONS AND CONFIRM LOCATION OF EXISTING

ORAN PARK - COMMERCIAL 2

LANDSCAPE:
DEVELOPMENT APPLICATION

CORNER OF ORAN PARK DRIVE & PETER BROCK DRIVE
ORAN PARK

CLIENT
GREENFIELDS DEVELOPMENT COMPANY

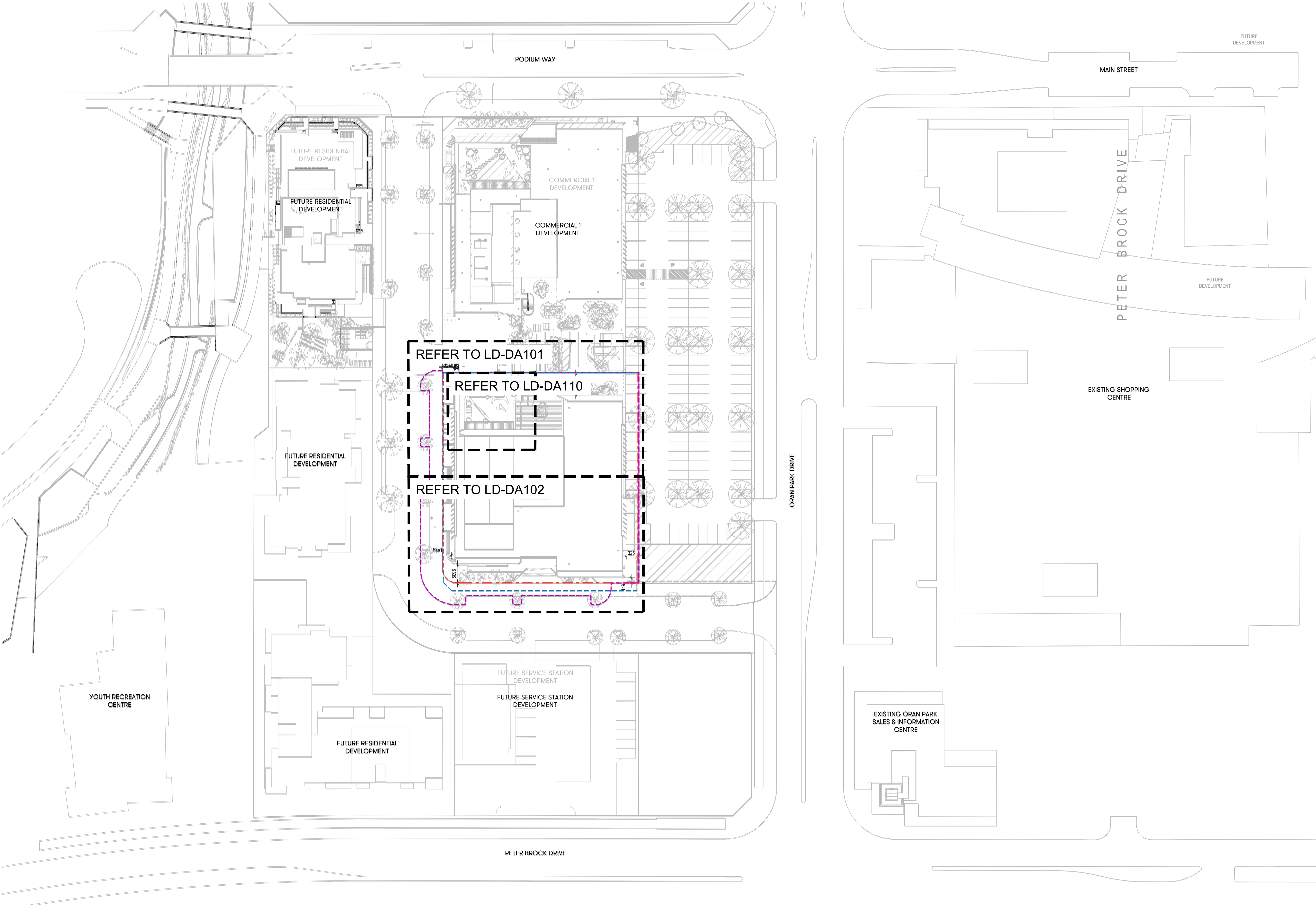


CONTEXT MAP NTS

[Status]	FOR DA	
[Nom. Architect]	Esther Dickins RLA RUD #1053	
[File]	20180186-LD-DA100.DWG	
[Print Date]	19 June 2019	
History		
[Rev#]	[Description]	[Date]
2	FOR DA	19.06.2019

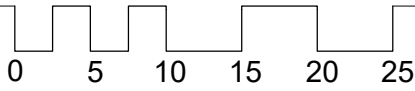
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[File]	20180186-LD-DA100.DWG	
[Print Date]	19 June 2019	
History		
[Rev#]	[Description]	[Date]
2	FOR DA	19.06.2019

- LEGEND:
- Site Boundary
 - Extent of works
 - Extent of Slab

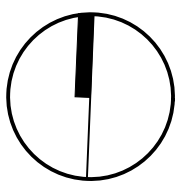


Level One, One Chifley Square Sydney NSW 2000 Australia
www.scottcarver.com.au +61 2 9957 3988

[Project] **ORAN PARK - COMMERCIAL 2**
[Client] **GREENFIELDS DEVELOPMENT COMPANY**



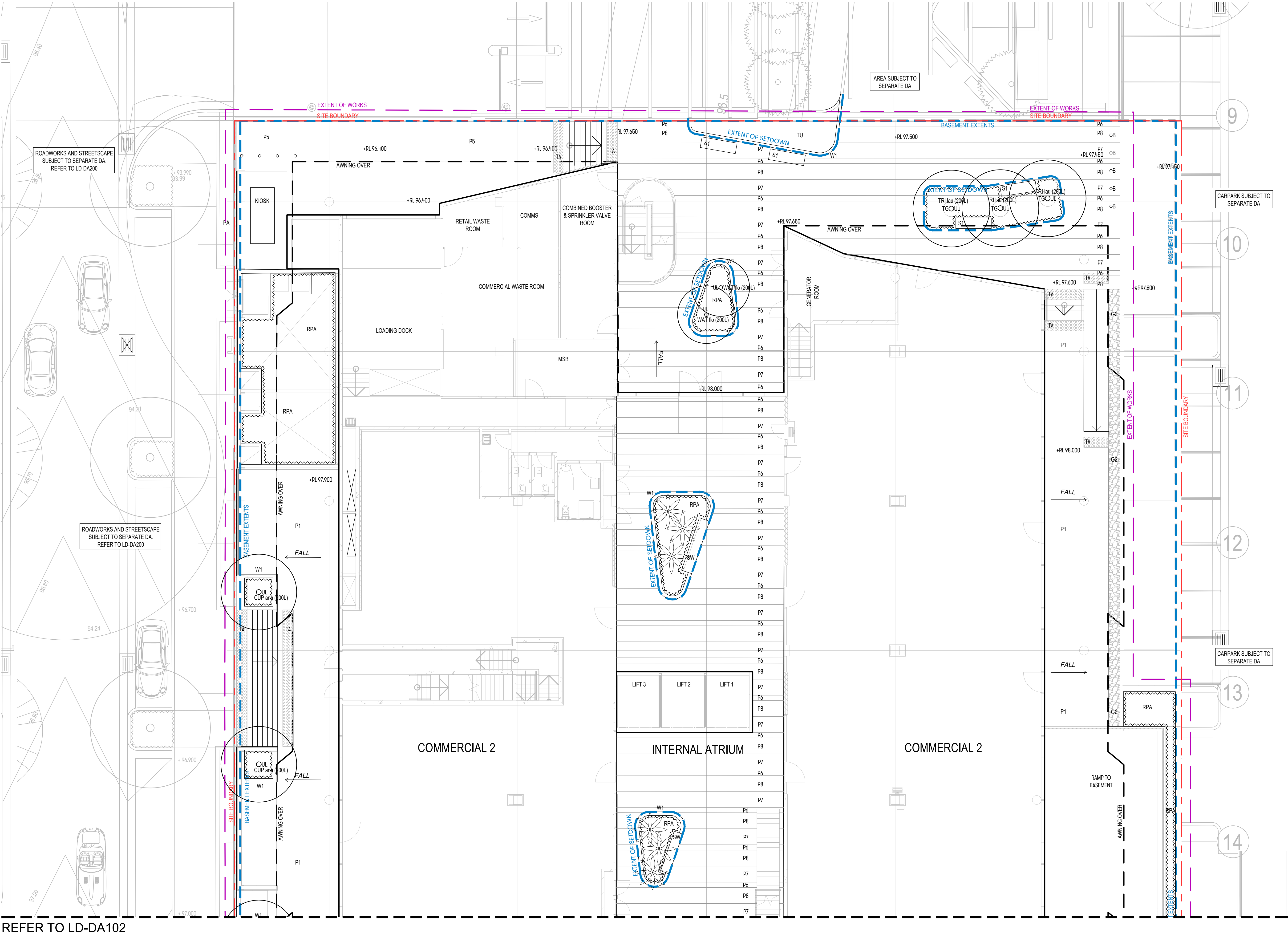
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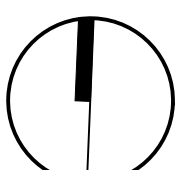
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SITE PLAN

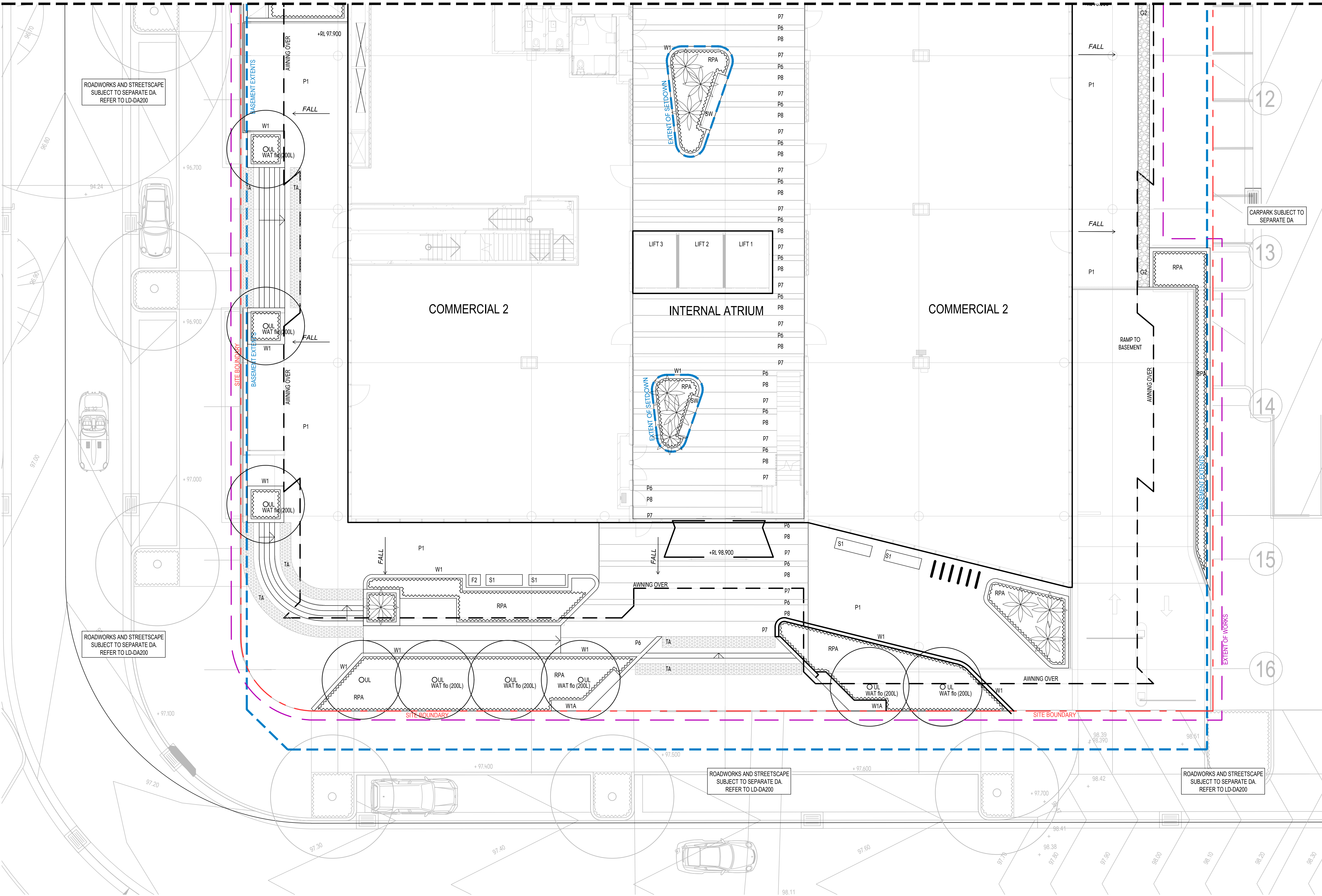


[Status]	FOR DA	
[Nom. Architect]	Esther Dickens RLA RUD #1053	
[File]	20180186-LD-DA100.DWG	
[Print Date]	19 June 2019	
History		
[Rev#]	[Description]	[Date]
2	FOR DA	19.06.2019

- LEGEND:
- Site Boundary
 - Extent of works
 - Extent of Slab
 - +99.50 Proposed nominal design levels: refer to civil engineers drawings
 - Proposed trees
 - PA Planter areas
 - RPA Raised planter area
 - TU Turf
 - W1 Wall Type 1: 200 mm wide in situ concrete wall
 - W1A Wall Type 1A: 500mm wide in situ concrete wall
 - P1 Paving Type 1: 1000 x 300 x 40mm granite paver 'Sesame Grey'. Exfoliated finish
 - P2 Paving Type 2: 400 x 400 x 40mm granite paver 'Raven Black'. Exfoliated finish
 - P3 Paving Type 3: 90 x 90 x 40mm granite sett 'Raven Black'. Natural split finish
 - P4 Paving Type 4: Reinforced wet concrete saw cut and lightly washed
 - P5 Paving Type 5: 90 x 90 x 80mm granite sett 'Raven Black'. Natural split granite finish. Suitable for heavy vehicular traffic
 - P6 Paving Type 6: 300 x 600 x 40mm granite paving 'Black Pearl'. Exfoliated finish
 - P7 Paving Type 7: 300 x 600 x 40mm granite paver 'Grey Pearl'. Exfoliated finish
 - P8 Paving Type 8: 300 x 600 x 40mm granite paving 'Gold Pearl'. Exfoliated finish
 - G1 Gravel type 1: Ballast rock
 - M1 Mulch type 1: Slate mulch
 - SE Steel edge
 - S1 Seat Type 1: To Council Standards. Refer to materials schedule & details
 - S1A Seat Type 1A: Proprietary item
 - SW Seating wall
 - LP Light Pole. To Council Standards
 - UL Uplight
 - R Rubbish bin. To Council Standards
 - B Bike rack. To Council Standards
 - TG Tree grill in paving
 - TA Tactiles
 - OB Bollard



REFER TO LD-DA101



[Status]	FOR DA
[Nom. Architect]	Esther Dickens RLA RUD #I053
[File]	20180186-LD-DA100.DWG
[Print Date]	19 June 2019
History	
[Rev#] [Description]	[Date]
2 FOR DA	19.06.2019

- LEGEND:
- Site Boundary
 - Extent of works
 - Extent of Slab
 - Proposed nominal design levels: refer to civil engineers drawings
 - Proposed trees
 - Planter areas
 - Raised planter area
 - Turf
 - Wall Type 1: 200 mm wide in situ concrete wall
 - Wall Type 1A: 500mm wide in situ concrete wall
 - Paving Type 1: 1000 x 300 x 40mm granite paver 'Sesame Grey', Exfoliated finish
 - Paving Type 2: 400 x 400 x 40mm granite paver 'Raven Black', Exfoliated finish
 - Paving Type 3: 90 x 90 x 40mm granite sett 'Raven Black', Natural split finish
 - Paving Type 4: Reinforced wet concrete saw cut and lightly washed
 - Paving Type 5: 90 x 90 x 80mm granite sett 'Raven Black', Natural split granite finish. Suitable for heavy vehicular traffic
 - Paving Type 6: 300 x 600 x 40mm granite paving 'Black Pearl', Exfoliated finish
 - Paving Type 7: 300 x 600 x 40mm granite paver 'Grey Pearl', Exfoliated finish
 - Paving Type 8: 300 x 600 x 40mm granite paving 'Gold Pearl', Exfoliated finish
 - Gravel type 1: Ballast rock
 - Mulch type 1: Slate mulch
 - Steel edge
 - Seat Type 1: To Council Standards. Refer to materials schedule & details
 - Seat Type 1A: Proprietary item
 - Seating wall
 - Light Pole, To Council Standards
 - Uplight
 - Rubbish bin, To Council Standards
 - Bike rack, To Council Standards
 - Tree grill in paving
 - Tactiles
 - Bollard

SITE BOUNDARY

[Status]	FOR DA	
[Nom. Architect]	Esther Dickins RLA RUD #1053	
[File]	20180186-LD-DA110.DWG	
[Print Date]	12 March 2019	
History		
[Rev#]	[Description]	[Date]
1	FOR DA	13.03.2019

LEGEND:

- Site Boundary
- +95.0 Proposed nominal design levels: refer to civil engineers drawings
- ST2 Pergola structure with climbers for summer shade.
- Proposed trees
- RAA Raised planter area
- TUA Turf (Artificial)
- W1 Wall Type 1: 200 mm wide in situ concrete wall
- W1A Wall Type 1A: 500mm wide in situ concrete wall
- CE Flush concrete edge
- CH Concrete hob
- P1 Paving Type 1: 1000 x 300 x 40mm granite paver 'Sesame Grey', Exfoliated finish
- P2 Paving Type 2: 400 x 400 x 40mm granite paver 'Raven Black', Exfoliated finish
- P4 Paving Type 4: Reinforced wet concrete saw cut and lightly washed.
- P8 Paving Type 8: 300 x 600 x 40mm granite paving 'Gold Pearl', Exfoliated finish
- G1 Gravel type 1: Ballast rock
- G2 Gravel type 2: Ballast rock
- SE Steel edge
- Table + bench seats
- Rubbish bin, To Council Standards
- Barbeque and benchtop
- Tactiles

